

# APPLICATION FOR SITE PLAN APPROVAL

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · www.hct.holland.mi.us

### **Applicant Information**

Contact Name Jon Frego  
Address 550 Kirtland Street W  
Grand Rapids, MI 49507

Company Pioneer Construction  
Phone 616.368.2053  
Email jfrego@pioneerinc.com

### **Owner Information**

Contact Name Jim Vanderkolk  
Address 938 Fokal Dr SW  
Grand Rapids, MI 49534

Company JKVK Enterprises, LLC  
Phone 616-308-0147  
Email jim.vanderkolk@royaltechnologiescorp.com

### **Plan Preparer Information**

Contact Name John Tenpas  
Address 12330 James Street H80  
Holland, MI 49424

Company Driesenga & Associates  
Phone 616.396.0255  
Email johnt@driesenga.com

### **Property Information**

Address or Location 9696 Black River Ct., Holland, MI 49424  
Parcel Number 70 - 16 - 36 - 200 - 031 Zoning District I-1 Light Industrial  
Present Use(s) vacant

### **Description of Proposed Use – (attach additional pages as needed)**

Mission Design proposes to build a second building west of their current building to grow their business. Additional light manufacturing and assembly with offices.

Requesting Planning Commission Review: Yes  No  (Note: Zoning Administrator may refer to the Planning Commission)

A site plan review fee of \$100 shall be submitted with the required two (2) site plans. If a special meeting is requested before the Planning Commission, an additional fee of \$600 shall be submitted with eleven (11) complete copies of: this form and the site plan including an electronic copy of the site plan on CD or other file sharing device. The copies must be submitted to the Community Development Department no later than the deadline indicated on the Planning Commission's Notice of Regular Meetings. The applicant or its representative must be present at the meeting in order to receive consideration.

I, the undersigned, do hereby certify that the site plan(s) attached hereto have been completed according to all ordinance requirements. I do further understand that if my site plan is not complete or if I fail to attend the meeting, the Planning Commission, at its discretion, may table the decision until a later date.

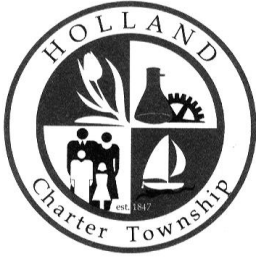
[Signature]  
Signature of Applicant 3/12/24  
Date

[Signature] (Owner agent) 3/12/24  
Signature of Owner Date

**DO NOT WRITE BELOW THIS LINE**

Date Received \_\_\_\_\_ Amount of Fee Paid \$ \_\_\_\_\_ Check No. \_\_\_\_\_

Application Accepted by \_\_\_\_\_



## SITE PLAN CHECKLIST

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151

All site plans submitted **MUST** contain all the following information unless certain information is waived by the Zoning Administrator: (Please check each item that is shown on the plan or note why it is not)

- A. Site plan, drawn to scale, based on an accurate certified land survey.
- B. Site plan content:
  - B1. Indication of existing Zoning District requirements.
    - I-1 Zoning District
    - Parcel Size Complies
    - Parcel Width Complies
    - Front Yard Setback Complies
    - Side Yard Setback Complies
    - Rear Yard Setback Complies
  - B2. Adjacent Zoning Districts, including Structures within one hundred (100) feet of the site's Lot lines.
  - B3. Location of existing water, sewer, and storm water utilities, including ditches and similar water courses.
  - B4. Existing topographical features including vegetation cover, trees in excess of six (6) inch caliper, and contour intervals no greater than five (5) feet.
  - B5. Location of R.O.W. lines, Lot lines, and applicable Setback lines.
  - B6. Location of existing streets, drives, and parking lots, including loading space(s) and arrangement and number of standard parking spaces and accessible parking spaces.
  - B7. Location of existing improvements, including the size and type of present Buildings or Structures, such as fencing, lighting, and signs to be retained or removed.
  - B8. Proposed topographical features including limits of removal for vegetation cover and contour intervals no greater than five (5) feet.
  - B9. Location of proposed water, sewer, and storm water utilities, including ditches or similar water courses.
  - B10. Location of proposed streets, drives, and parking lots, including loading space(s) and arrangement and number of standard parking spaces and accessible parking spaces.
  - B11. Location of all proposed Buildings or Structures, such as trash enclosures, fencing, light poles, and centralized mail delivery locations for residential communities (i.e., Neighborhood Delivery Centers or Cluster Box Units).
  - B12. Proposed landscaping, including specific ground cover(s), shrubs, and trees with an accurate description of species type and minimum size(s) to be installed.
  - B13. The date, north arrow, and scale. The scale shall not be less than 1" = 50' if the subject property is less than three (3) acres and 1" = 100' if three (3) acres or more.
  - B14. The name and address and phone number of the professional individual, if any, responsible for the preparation of the site plan.

- C. Building information:
- C1. Preliminary architectural sketches and/or a general statement as to the type of construction and materials to be used in the proposed Buildings or Structures.
- C2. Height and area of Buildings and Structures, including lot coverage by buildings.
- D. Supplemental information:
- D1. Project Narrative. **See application.**
- D2. The period of time within which the project will be completed. **May 2024 to Dec 2024**
- D3. Proposed phasing of the project, if any. **None**
- D4. Delineation of the one hundred (100) year flood plain and any proposed uses therein.
- D5. Current proof of ownership of the land to be utilized or evidence of a contractual ability to acquire such land, such as an option or purchase contract. **attached owner/agent form**
- D6. Additional information which the body or official reviewing and approving the site plan may request - which is reasonably necessary to evaluate the site plan. **None**

**Planning Commission General Document Submittal Requirements:**

1. Failure to include any of the above information shall result in the rejection of the proposed site plan.
2. All information required on the application form shall be completed, including signature.
3. One original signature copy of the application must be submitted. The balance of the copies required may be photocopies.
4. All required documents/information must be submitted at the same time.
5. Rolled documents shall not be accepted. All documents must be folded to a size no larger than 9"x12".
6. If submittal contains multiple documents, the documents must be collated into "packets". Each packet shall be secured by clips, or rubber bands if necessary.
7. Two (2) sets of plans shall bear the original seal and signature of the architect or engineer who prepared them; the balance required may be copies.

## PROJECT NARRATIVE

### **STORMWATER UPDATE:**

As part of this project, the 36-inch and the 54-inch stormwater pipes that bisect the portion of the parcel will be relocated to the west ditch on the west property line. We are in conversation with the Ottawa County Water Resources Commissioner's (OCWRC) office. We have a meeting with them on May 8<sup>th</sup>, 2024 to further discuss this relocation.

The ditch is suspected to be a wetland. We are hiring an environmental consultant to perform a wetland delineation. We will be applying for any necessary EGLE permits necessary.

We are in the process of designing the relocation of the two stormwater pipes and we will be able to supply updated plans and calculations at a later date.

We will provide further updates at the planning commission meeting.

We understand we will need written approval from OCWRC. We also understand that Holland Charter Township requires an engineer's certificate for this project prior to the issuance of the certificate of occupancy.

### **PARKING CALCUATIONS:**

The required calculations have been revised and updated numbers are shown on the site plan. The building footprint is a total of 54,400 square feet.

The manufacturing area is 45,700 square feet (54,400 sq ft less 8,700 sq ft office area). One parking space is required for every 800 sq ft in a manufacturing area. This results in 58 parking spaces being required to accommodate the manufacturing area.

The office area footprint is 8,700 sq ft. There are two levels in the office area so the total square footage is 17,400 sq ft. One parking space is required for every 300 sq ft in an office area. This results in 58 parking spaces being required to accommodate the office area.

For the proposed building, a total of 116 parking spaces are required.

### **OTTAWA COUNTY ROAD COMMISSION:**

We will be working with the Ottawa County Road Commission (OCRC) for approval of the driveway connection to Black River Court. We understand that we will need to provide written approval from OCRC.

**PUBLIC UTILITIES:**

We will work with Aaron Nyboer of the Holland Charter Township Public Works to ensure any utility placements and any necessary easements are handled correctly.

**LANDSCAPING:**

We have provided an undated landscaping plan to address the landscaping comments in the staff comments.

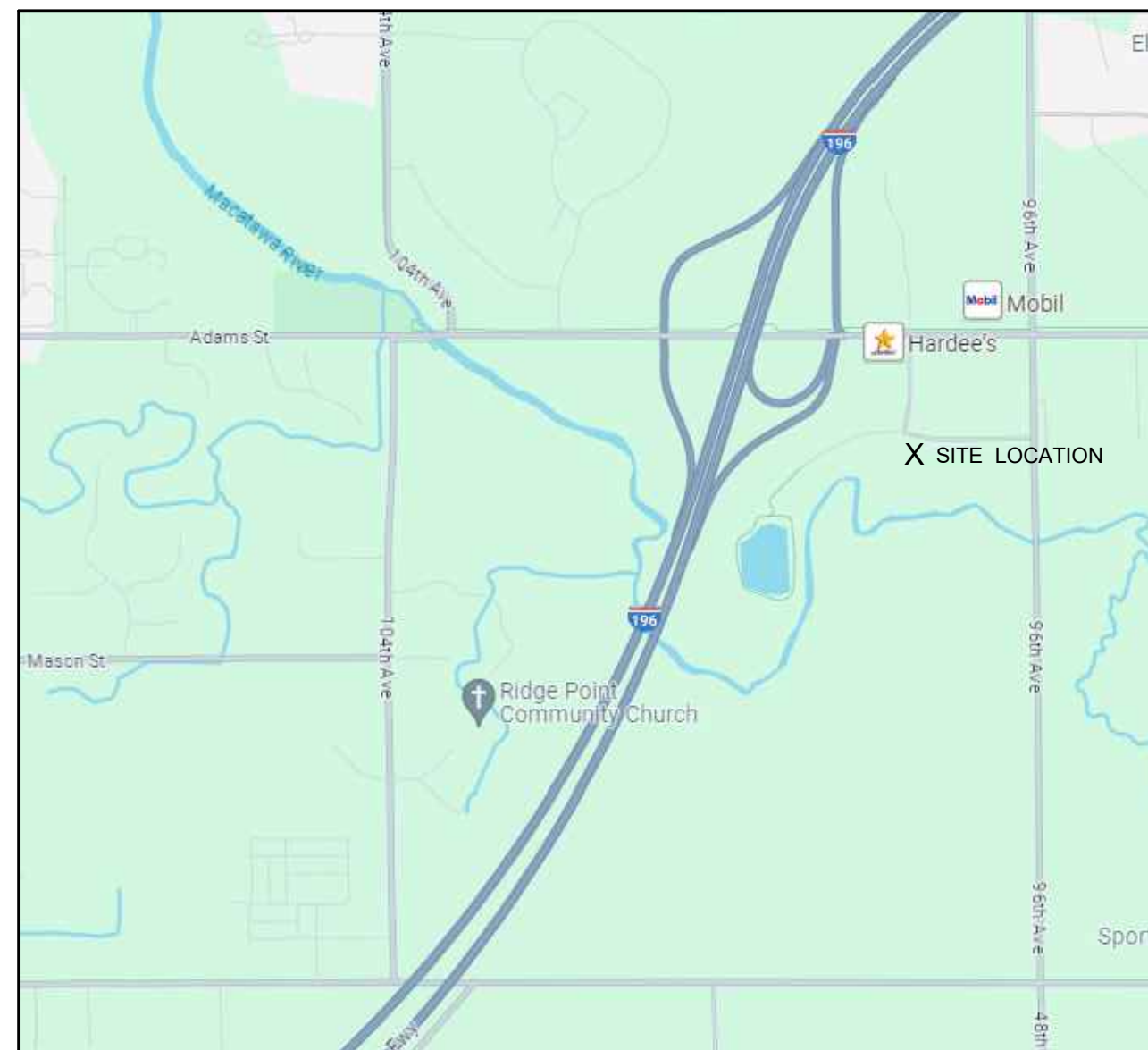
**SIDEWALK/NON-MOTORIZED PATHWAY:**

We are interested and willing to work with the community on a future non-motorized path to connect the Hawthorn Pond Park to existing pathway as part of the Macatawa Greenway.

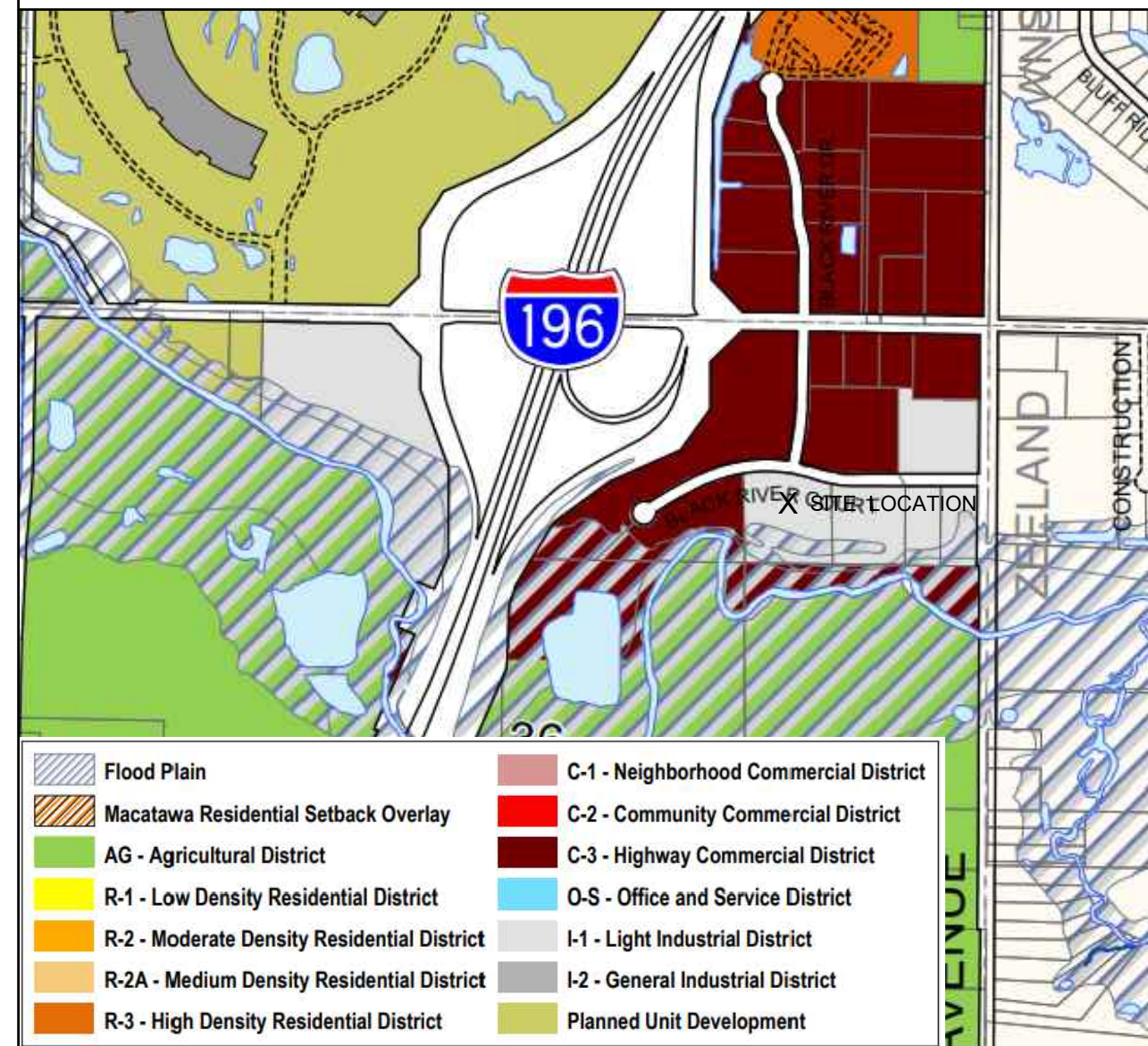
**LIGHTING:**

We have provided an updated lighting plan sheet to address the lighting comments in the staff comments.

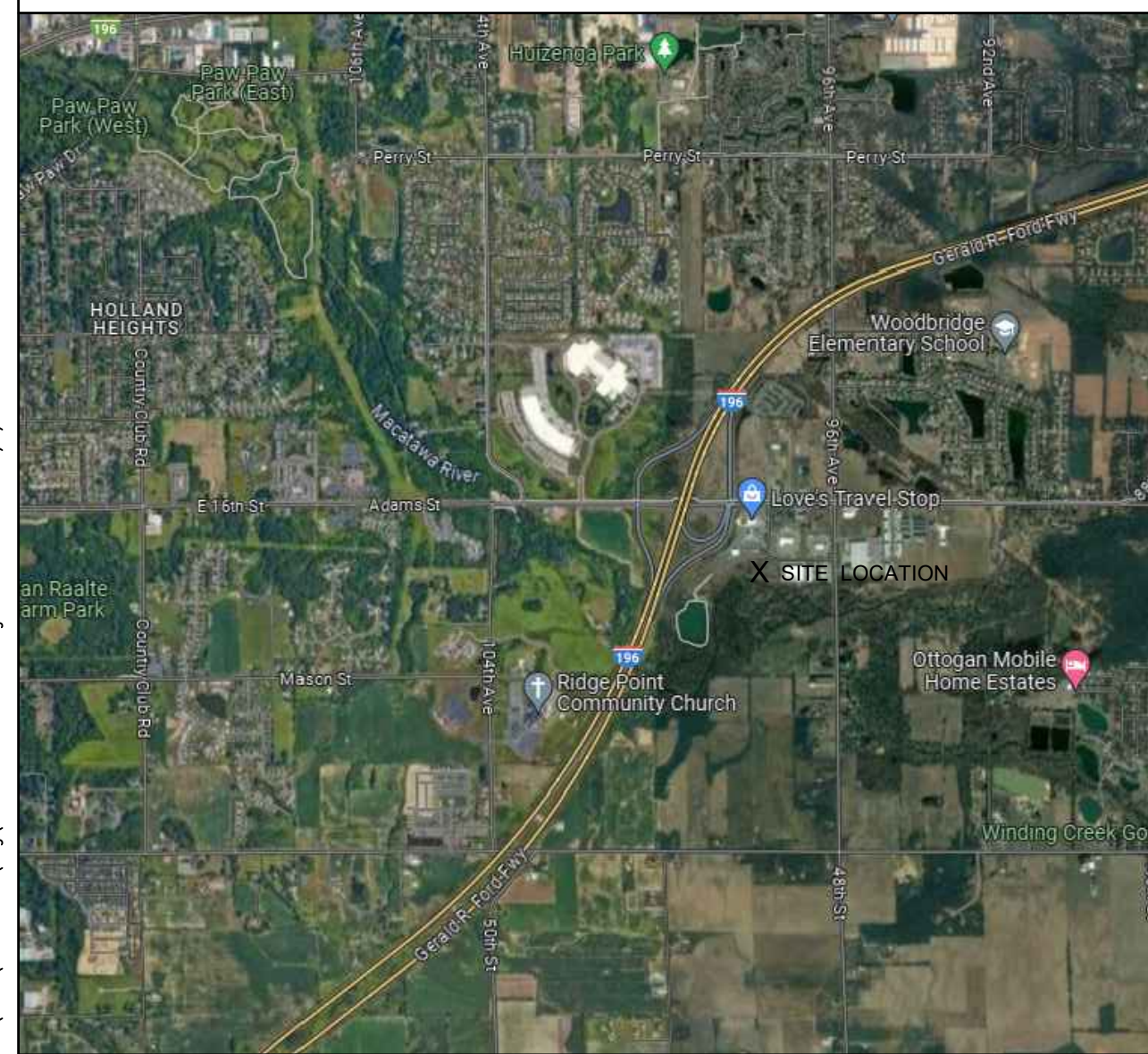




LOCATION MAP - NO SCALE



ZONING MAP - NO SCALE



AERIAL - NO SCALE

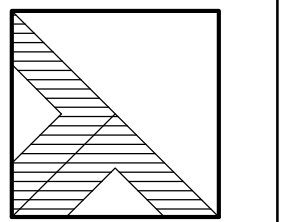
# PIONEER CONSTRUCTION MISSION DESIGN

9696 BLACK RIVER COURT  
SECTION 36, T05N, R15W  
HOLLAND, MICHIGAN 49424

## SHEET INDEX

G-001	TITLE SHEET
V-100	EXISTING TOPOGRAPHIC PLAN
V-101	EXISTING TOPOGRAPHIC PLAN
CD-101	CIVIL DEMOLITION PLAN
C-101	SITE PLAN
C-102	STORM SEWER PLAN
C-103	GRADING & SOIL EROSION CONTROL PLAN
C-501	DETAILS
L-1	LANDSCAPING PLAN
P	PHOTOMETRIC PLAN

<b>SITE ADDRESS</b>
MISSION DESIGN 9696 BLACK RIVER COURT HOLLAND, MI 49424
<b>OWNER</b>
PIONEER CONSTRUCTION 550 KIRTLAND STREET SW GRAND RAPIDS, MI 49507 (616) 247-1086 JON FREGO jfrego@pioneerinc.com
<b>CIVIL ENGINEER</b>
DRIESENGA & ASSOCIATES, INC. 12330 JAMES STREET, SUITE H80 HOLLAND, MICHIGAN 49424 (616) 396-0255 JOHN TENPAS, P.E. johnt@driesenga.com



**DRIESENGA & ASSOCIATES, INC.**

**Engineering  
Surveying  
Testing**

www.driesenga.com

Holland, MI  
616-396-0255  
Grand Rapids, MI  
616-249-3800  
Kalamazoo, MI  
269-544-1455  
Lansing, MI  
517-889-6210  
Ypsilanti, MI  
734-368-9483

MISSION DESIGN  
9696 BLACK RIVER COURT  
SECTION 36, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.  
-FOR-  
PIONEER CONSTRUCTION  
550 KIRTLAND STREET SW, GRAND RAPIDS, MI 49507

ISSUED FOR:

1	ISSUED FOR REVIEW 02-23-2024 D: JTC C: JT
2	ISSUED FOR APPROVAL 03-12-2024 D: CTR C: JT

Project Manager:

JOHN TENPAS

Project #

2310490.1B

Sheet Title:

TITLE SHEET

Sheet #

**G-001**  
1 of 10



ISSUED FOR  
**APPROVAL**



Know what's below.  
Call before you dig.



# TOPOGRAPHIC / BOUNDARY SURVEY

SCHEDULE "A" LEGAL DESCRIPTION  
FROM: TRANSNATION TITLE AGENCY OF MICHIGAN LAKESHORE DIVISION  
FILE NO.: 429776LKS (EFFECTIVE DATE: FEBRUARY 01, 2024)  
VACANT LOT TIN: 200-027

PART OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 05 NORTH, RANGE 15 WEST, HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION; THENCE S01°04'52"E, 1322.93 FEET ALONG THE EAST LINE OF SAID SECTION; THENCE S89°48'47"W, 1325.85 FEET ALONG THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION TO THE POINT OF BEGINNING; THENCE CONTINUING S89°48'47"W, 816.17 FEET ALONG SAID SOUTH LINE; THENCE N44°58'58"E, 295.47 FEET; THENCE NORTHEASTERLY 156.36 FEET ALONG A 70.00 FOOT RADIUS CURVE TO THE LEFT, SAID CURVE HAVING A CENTRAL ANGLE OF 127°58'47", AND A CHORD BEARING N70°59'37"E, 125.82 FEET; THENCE NORTHEASTERLY 41.88 FEET ALONG A 50.00 FOOT RADIUS CURVE TO THE RIGHT, SAID CURVE HAVING CENTRAL ANGLE OF 47°58'05", AND A CHORD BEARING N30°59'16"E, 40.65 FEET; THENCE NORTHEASTERLY 354.17 FEET ALONG A 1467.00 FOOT RADIUS CURVE TO THE RIGHT, SAID CURVE HAVING A CENTRAL ANGLE OF 13°49'57", AND A CHORD BEARING N61°53'18"E, 353.31 FEET; THENCE NORTHEASTERLY 153.54 FEET ALONG A 767.00 FOOT RADIUS CURVE TO THE RIGHT, SAID CURVE HAVING A CENTRAL ANGLE OF 11°28'12", AND A CHORD BEARING N74°32'21"E, 153.29 FEET (THE PREVIOUS 4 CALLS ALL BEING ALONG THE SOUTHERLY RIGHT-OF-WAY LINE FOR BLACK RIVER COURT); THENCE S00°56'28"E, 489.56 FEET TO THE POINT OF BEGINNING.

SCHEDULE B-II MATTERS CONCERNING THE PROPERTY  
FROM: TRANSNATION TITLE AGENCY OF MICHIGAN LAKESHORE DIVISION  
FILE NO.: 429776LKS (EFFECTIVE DATE: FEBRUARY 01, 2024)  
VACANT LOT TIN: 200-027

- COVENANTS, CONDITIONS AND RESTRICTIONS AND OTHER PROVISIONS BUT OMITTING RESTRICTIONS, IF ANY, BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN AS CONTAINED IN INSTRUMENT RECORDED IN LIBER 3639, PAGE 183. (SHOWN ON DRAWING)
- DRAIN AGREEMENT RECORDED IN LIBER 3756, PAGE 924. (SHOWN ON DRAWING)
- UTILITY LINE EASEMENT RECORDED IN LIBER 3878, PAGE 681. (SHOWN ON DRAWING)
- EASEMENTS RECITED IN THE ACCESS EASEMENT RECORDED IN LIBER 5635, PAGE 464. (SHOWN ON DRAWING)
- EASEMENT AGREEMENT AS RECORDED IN LIBER 568, PAGE 213. (SHOWN ON DRAWING)
- RIGHTS OF OTHERS IN AND TO THE USE OF THE EASEMENT AS DESCRIBED IN EASEMENT AGREEMENT RECORDED IN LIBER 568, PAGE 213. (SHOWN ON DRAWING)

### SURVEYOR'S NOTES

- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL FIELD MEASUREMENTS AND AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG - CALL MISS DIG AT 811.
- CONTOUR INTERVAL = 1 FOOT.
- ONLY A PORTION OF THE TITLE DESCRIPTION PARCEL IS INCLUDED WITHIN THE SCOPE OF THIS SURVEY.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS PARTIALLY LOCATED IN ZONE "AE" OF THE FLOOD INSURANCE RATE MAP 26139C0319E, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 16, 2011. ZONE "AE" AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. 100-YEAR FLOODPLAIN=600.5 (NAVD 88)
- BASED ON PREVIOUS DRIESENKA & ASSOCIATES PROJECT NO.: 2010313.5A, DATED 06-01-2020.
- BEARING BEFORE THE EAST LINE OF SECTION 36, TOWN 05 NORTH, RANGE 15 WEST = S01°04'52"E.
- THE FIELD WORK WAS COMPLETED ON FEBRUARY 12, 2024.
- PRIVATE DRAINAGE EASEMENT TO ADAMS STREET DRAINAGE DISTRICT IS GRAPHICALLY DEPICTED IN VARIOUS DOCUMENTS. HOWEVER, REVIEWED DOCUMENTS WERE AMBIGUOUS ON LOCATION AND CREATION OF EASEMENT. FURTHER RESEARCH RECOMMENDED TO VERIFY LOCATION AND EXISTENCE OF EASEMENT.

SCHEDULE "A" LEGAL DESCRIPTION  
FROM: FIRST AMERICAN TITLE INSURANCE COMPANY  
POLICY NO.: 5011426-894011 (EFFECTIVE DATE: MAY 31, 2022)  
VACANT LOT TIN: 200-028

THE LAND REFERRED TO IN THIS POLICY, SITUATED IN THE COUNTY OF OTTAWA, TOWNSHIP OF HOLLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

PART OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 5 NORTH, RANGE 15 WEST, HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION; THENCE SOUTH 01 DEGREE 04 MINUTES 52 SECONDS EAST 1322.93 FEET ALONG THE EAST LINE OF SAID SECTION; THENCE SOUTH 89 DEGREES 48 MINUTES 47 SECONDS WEST 456.06 FEET ALONG THE SOUTH LINE OF SAID SECTION; THENCE SOUTH 01 DEGREE 04 MINUTES 52 SECONDS WEST 456.06 FEET ALONG THE SOUTH LINE OF SAID SECTION; THENCE SOUTH 89 DEGREES 48 MINUTES 47 SECONDS WEST 387.95 FEET; THENCE NORTH 01 DEGREE 04 MINUTES 52 SECONDS WEST 470.86 FEET; THENCE WESTERLY 122.34 FEET ON THE ARC OF AN 800.00 FOOT RADIUS CURVE TO THE RIGHT, THE CHORD OF WHICH BEARS NORTH 77 DEGREES 27 MINUTES 39 SECONDS WEST 122.22 FEET (CENTRAL ANGLE = 08 DEGREES 45 MINUTES 43 SECONDS); THENCE WESTERLY 71.59 FEET ON THE ARC OF AN 800.00 FOOT RADIUS CURVE TO THE LEFT, THE CHORD OF WHICH BEARS NORTH 75 DEGREES 38 MINUTES 36 SECONDS WEST 71.57 FEET (CENTRAL ANGLE OF 06 DEGREES 07 MINUTES 38 SECONDS); THENCE NORTH 09 DEGREES 25 MINUTES 44 SECONDS EAST 201.07 FEET; THENCE NORTHERLY 140.82 FEET ON THE ARC OF AN 833.00 FOOT RADIUS CURVE TO THE LEFT, THE CHORD OF WHICH BEARS NORTH 04 DEGREES 35 MINUTES 10 SECONDS EAST 140.65 FEET (CENTRAL ANGLE OF 09 DEGREES 41 MINUTES 09 SECONDS); THENCE NORTH 00 DEGREE 15 MINUTES 25 SECONDS WEST 117.47 FEET; THENCE NORTH 89 DEGREES 44 MINUTES 35 SECONDS EAST 478.59 FEET (THE PREVIOUS 3 COURSES BEING ALONG THE SOUTHERLY BOUNDARY OF ADAMS STREET CENTER AS RECORDED IN LIBER 34 OF PLATS ON PAGES 60 AND 61); THENCE SOUTH 01 DEGREE 04 MINUTES 52 SECONDS EAST 473.45 FEET; THENCE SOUTH 34 DEGREES 45 MINUTES 32 SECONDS EAST 79.31 FEET; THENCE SOUTH 01 DEGREE 04 MINUTES 52 SECONDS EAST 433.52 FEET TO THE POINT OF BEGINNING.

SCHEDULE B-II EXCEPTIONS FROM COVERAGE  
FROM: FIRST AMERICAN TITLE INSURANCE COMPANY  
POLICY NO.: 5011426-894011 (EFFECTIVE DATE: MAY 31, 2022)  
VACANT LOT TIN: 200-028

- UTILITY LINE EASEMENT IN FAVOR OF COUNTY OF OTTAWA AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 3612, PAGE 685 (NOT SHOWN ON DRAWING)
- TERMS AND CONDITIONS CONTAINED IN DECLARATION OF RESTRICTIONS AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 3639, PAGE 183. (SHOWN ON DRAWING)
- TERMS AND CONDITIONS CONTAINED IN AGREEMENT FOR THE ESTABLISHMENT OF A COUNTY DRAIN AND COUNTY DRAINAGE DISTRICT PURSUANT TO SECTION 433 OF ACT NO. 40 OF THE PUBLIC ACTS OF 1956, AS AMENDED AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 3756, PAGE 924. (SHOWN ON DRAWING)
- UTILITY LINE EASEMENT IN FAVOR OF COUNTY OF OTTAWA AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 3878, PAGE 681. (SHOWN ON DRAWING)

SCHEDULE "A" LEGAL DESCRIPTION  
FROM: FIRST AMERICAN TITLE INSURANCE COMPANY  
TITLE NO.: 803021 (EFFECTIVE DATE: DECEMBER 20, 2018)  
9696 BLACK RIVER COURT

THAT PART OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 5 NORTH, RANGE 15 WEST, HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION; THENCE SOUTH 01 DEGREE 04 MINUTES 52 SECONDS EAST 1322.93 FEET ALONG THE EAST LINE OF SAID SECTION; THENCE SOUTH 89 DEGREES 48 MINUTES 47 SECONDS WEST 456.06 FEET ALONG THE SOUTH LINE OF SAID SECTION; THENCE SOUTH 01 DEGREE 04 MINUTES 52 SECONDS WEST 456.06 FEET ALONG THE SOUTH LINE OF SAID SECTION; THENCE SOUTH 89 DEGREES 48 MINUTES 47 SECONDS WEST 387.95 FEET; THENCE NORTH 01 DEGREE 04 MINUTES 52 SECONDS WEST 470.86 FEET; THENCE WESTERLY 122.34 FEET ON THE ARC OF AN 800.00 FOOT RADIUS CURVE TO THE RIGHT, THE CHORD OF WHICH BEARS NORTH 77 DEGREES 27 MINUTES 39 SECONDS WEST 122.22 FEET (CENTRAL ANGLE = 08 DEGREES 45 MINUTES 43 SECONDS); THENCE WESTERLY 71.59 FEET ON THE ARC OF AN 800.00 FOOT RADIUS CURVE TO THE LEFT, THE CHORD OF WHICH BEARS NORTH 75 DEGREES 38 MINUTES 36 SECONDS WEST 71.57 FEET (CENTRAL ANGLE OF 06 DEGREES 07 MINUTES 38 SECONDS); THENCE NORTH 09 DEGREES 25 MINUTES 44 SECONDS EAST 201.07 FEET; THENCE NORTHERLY 140.82 FEET ON THE ARC OF AN 833.00 FOOT RADIUS CURVE TO THE LEFT, THE CHORD OF WHICH BEARS NORTH 04 DEGREES 35 MINUTES 10 SECONDS EAST 140.65 FEET (CENTRAL ANGLE OF 09 DEGREES 41 MINUTES 09 SECONDS); THENCE NORTH 00 DEGREE 15 MINUTES 25 SECONDS WEST 117.47 FEET; THENCE NORTH 89 DEGREES 44 MINUTES 35 SECONDS EAST 478.59 FEET (THE PREVIOUS 3 COURSES BEING ALONG THE SOUTHERLY BOUNDARY OF ADAMS STREET CENTER AS RECORDED IN LIBER 34 OF PLATS ON PAGES 60 AND 61); THENCE SOUTH 01 DEGREE 04 MINUTES 52 SECONDS EAST 473.45 FEET; THENCE SOUTH 34 DEGREES 45 MINUTES 32 SECONDS EAST 79.31 FEET; THENCE SOUTH 01 DEGREE 04 MINUTES 52 SECONDS EAST 433.52 FEET TO THE POINT OF BEGINNING.

SCHEDULE B-II EXCEPTIONS  
FROM: FIRST AMERICAN TITLE INSURANCE COMPANY  
TITLE NO.: 803021 (EFFECTIVE DATE: DECEMBER 20, 2018)  
9696 BLACK RIVER COURT

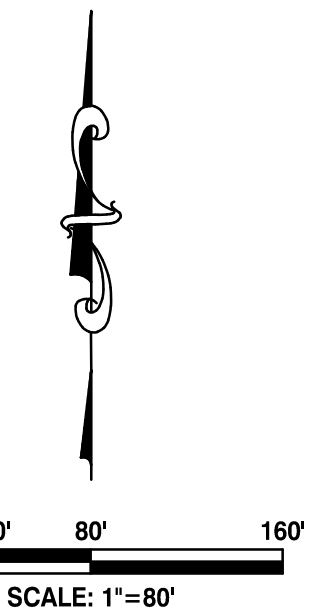
- INTEREST OF ERIC J. VISSER, AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 2193, PAGE 475. (SHOWN ON DRAWING)
- INTEREST OF BRUCE G. VISSER, AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 2131, PAGE 72. (NO EASEMENT TO DEPICT)
- TERMS AND CONDITIONS CONTAINED IN AGREEMENT FOR THE ESTABLISHMENT OF A COUNTY DRAIN AND COUNTY DRAINAGE DISTRICT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 3756, PAGE 924. (SHOWN ON DRAWING)
- TERMS AND CONDITIONS CONTAINED IN DECLARATION OF RESTRICTIONS AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 3639, PAGE 183. (SHOWN ON DRAWING)

### OVERALL LEGAL DESCRIPTION (-031)

NEW OVERALL PART OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 05 NORTH, RANGE 15 WEST, HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION; THENCE ALONG THE EAST LINE OF SAID SECTION, SOUTH 01 DEGREE 04 MINUTES 52 SECONDS EAST 1322.93 FEET TO THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION; THENCE ALONG SAID SOUTH LINE, SOUTH 89 DEGREES 48 MINUTES 47 SECONDS WEST 456.06 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SOUTH LINE, SOUTH 89 DEGREES 48 MINUTES 47 SECONDS WEST 869.59 FEET; THENCE NORTH 00 DEGREES 59 MINUTES 28 SECONDS WEST 489.57 FEET TO THE SOUTH RIGHT OF WAY LINE OF BLACK RIVER COURT; THENCE ALONG SAID SOUTH LINE, SOUTHEASTERLY 356.69 FEET ALONG THE ARC OF A 767.00 FOOT RADIUS CURVE TO THE RIGHT, THE CHORD OF WHICH BEARS SOUTH 86 DEGREES 24 MINUTES 08 SECONDS EAST 353.48 FEET; THENCE SOUTHEASTERLY 261.72 FEET ALONG THE ARC OF A 833.00 FOOT RADIUS CURVE TO THE LEFT, THE CHORD OF WHICH BEARS SOUTH 82 DEGREES 04 MINUTES 49 SECONDS EAST 260.65 FEET; THENCE NORTH 88 DEGREES 55 MINUTES 08 SECONDS EAST 258.55 FEET; THENCE SOUTH 01 DEGREE 04 MINUTES 52 SECONDS EAST 433.52 FEET TO THE POINT OF BEGINNING. SUBJECT TO EASEMENTS, RESTRICTIONS AND RIGHTS OF WAYS APPARENT AND OF RECORD. SAID PARCEL CONTAINS 9.15± ACRES (398,621± SQ. FT.).



LOCATION MAP - NO SCALE



### LEGEND

BENCHMARK	▶ BM #1
SET CAPPED REBAR #62885	•
FOUND IRON	▲
CONTROL POINT	◻
DESCRIBED	D
MEASURED	M
STORM SEWER MANHOLE	☉
CATCH BASIN	☐
SANITARY SEWER MANHOLE	☉
FIRE HYDRANT	⊕
VALVE (WATER & GAS)	⊕
UTILITY RISERS	RS, RS, RS, RS, RS, RS
UTILITY POLE	⊕
LIGHT POLE	⊕
TRANSFORMER	⊕
HAND HOLE (ELECTRIC)	⊕
UNDERGROUND GAS LINE MARKER	---
UNDERGROUND ELECTRIC COMMUNICATIONS	---
GAS LINE	---
EXISTING WATER LINE	---
EXISTING STORM SEWER	---
EXISTING SANITARY SEWER	---
BITUMINOUS SURFACE	▨
CONCRETE SURFACE	▨
GRAVEL SURFACE	▨
DECIDUOUS TREE	○

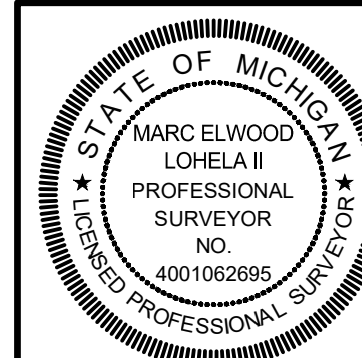
MISS DIG INFORMATION  
MISS DIG SURVEY TICKET # 2024012600381-000  
(INCLUDES INFORMATION RECEIVED THROUGH 02/05/2024)

- ZEELAND BOARD OF PUBLIC WORKS - 01/26/2024 (MAPS PROVIDED)
- AT&T - 02/02/2024 (MAPS PROVIDED)
- HOLLAND CHARTER TOWNSHIP - 02/01/2024 (MAPS PROVIDED)
- SEMCO ENERGY - 01/26/2024 (MAPS PROVIDED)
- ACENTEX - 01-26-2024 (MAPS PROVIDED)
- COMCAST - (NO RESPONSE RECEIVED)



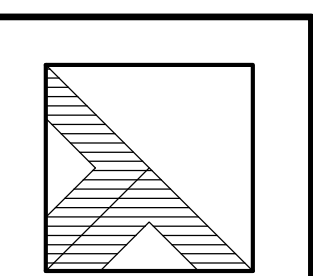
POINT NUMBER	NORTHING (ASSUMED)	EASTING (ASSUMED)	ELEVATION (NAVD 88)
50	471238.0090'	12679542.4660'	603.98'
52	471360.9420'	12679682.1690'	605.18'
53	471242.7982'	12679192.9898'	603.90'
54	471299.9462'	12679773.1447'	603.88'
55	471181.5703'	12678370.1228'	604.25'

Tax Parcel No.: 70-16-36-200-027 & 70-16-36-200-031



Marc Elwood Lohela II  
P.S. No. 4001062695

THE DESCRIPTION WAS GIVEN TO US BY THE PERSON CERTIFIED TO, OR WAS PREPARED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY THE PERSON CERTIFIED TO, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS.



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517-977-1019  
Ypsilanti, MI  
734-368-9483

MISSION DESIGN  
9696 BLACK RIVER COURT  
HOLLAND CHARTER TWP., OTTAWA CO.  
-FOR-  
MISSION DESIGN & AUTOMATION  
9652 BLACK RIVER COURT HOLLAND, MI 49424

REVISIONS
1

Drawn By: MJD  
Scale: 1" = 80'  
Date: 02-20-2024  
Project #: 2310490.5A  
Sheet Title: TOPOGRAPHIC / BOUNDARY SURVEY  
Sheet #: V-100  
1 of 2



# TOPOGRAPHIC / BOUNDARY SURVEY

## SURVEYOR'S NOTES

- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL FIELD MEASUREMENTS AND AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG - CALL MISS DIG AT 811.
- CONTOUR INTERVAL = 1 FOOT.
- ONLY A PORTION OF THE TITLE DESCRIPTION PARCEL IS INCLUDED WITHIN THE SCOPE OF THIS SURVEY.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS PARTIALLY LOCATED IN ZONE "AE" OF THE FLOOD INSURANCE RATE MAP 26139C0319E, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 16, 2011. ZONE "AE" AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, 100-YEAR FLOODPLAIN=600.5 (NAVD 88)
- BASED ON PREVIOUS DRIESENKA & ASSOCIATES PROJECT NO.: 2010313.5A, DATED 06-01-2020.
- BEARING BASED ON THE EAST LINE OF SECTION 36, TOWN 05 NORTH, RANGE 15 WEST = S01°04'52"E.
- THE FIELD WORK WAS COMPLETED ON FEBRUARY 12, 2024.
- PRIVATE DRAINAGE EASEMENT TO ADAMS STREET DRAINAGE DISTRICT IS GRAPHICALLY DEPICTED IN VARIOUS DOCUMENTS. HOWEVER, REVIEWED DOCUMENTS WERE AMBIGUOUS ON LOCATION AND CREATION OF EASEMENT. FURTHER RESEARCH RECOMMENDED TO VERIFY LOCATION AND EXISTENCE OF EASEMENT.



LOCATION MAP - NO SCALE

## BENCHMARK DATA

ELEVATIONS TAKEN FROM PREVIOUS DRIESENKA & ASSOCIATES PROJECT NO.: 2010313.5A, DATED 06-01-2020. NAVD '88 AS DERIVED FROM GPS OBSERVATIONS UTILIZING VRS CONUS 12B

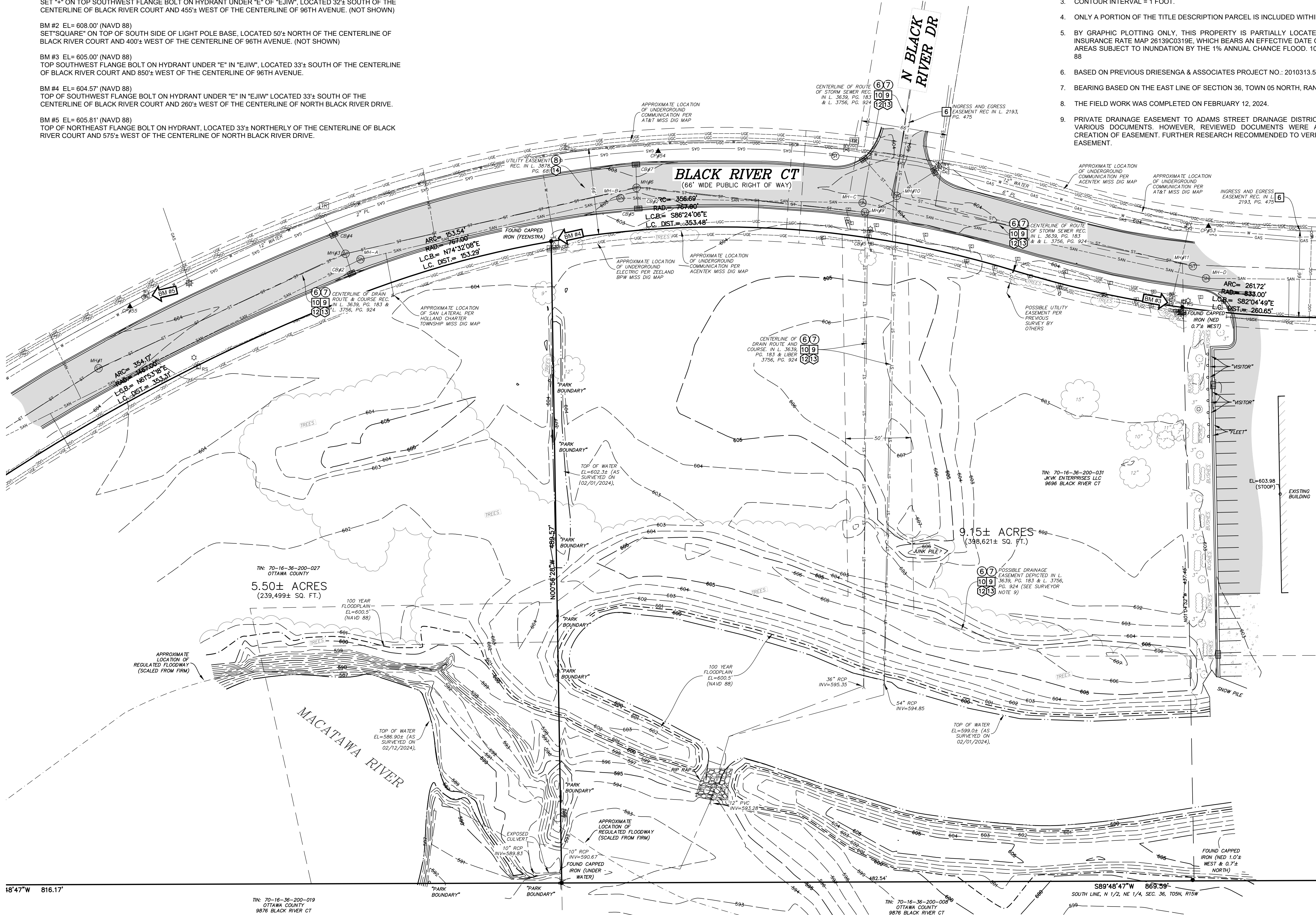
BM #1 EL= 605.61' (NAVD 88)  
SET "X" ON TOP SOUTHWEST FLANGE BOLT ON HYDRANT UNDER "E" OF "EJW", LOCATED 32± SOUTH OF THE CENTERLINE OF BLACK RIVER COURT AND 455± WEST OF THE CENTERLINE OF 96TH AVENUE. (NOT SHOWN)

BM #2 EL= 608.00' (NAVD 88)  
SET "SQUARE" ON TOP OF SOUTH SIDE OF LIGHT POLE BASE, LOCATED 50± NORTH OF THE CENTERLINE OF BLACK RIVER COURT AND 400± WEST OF THE CENTERLINE OF 96TH AVENUE. (NOT SHOWN)

BM #3 EL= 605.00' (NAVD 88)  
TOP SOUTHWEST FLANGE BOLT ON HYDRANT UNDER "E" IN "EJW", LOCATED 33± SOUTH OF THE CENTERLINE OF BLACK RIVER COURT AND 850± WEST OF THE CENTERLINE OF 96TH AVENUE.

BM #4 EL= 604.57' (NAVD 88)  
TOP OF SOUTHWEST FLANGE BOLT ON HYDRANT UNDER "E" IN "EJW" LOCATED 33± SOUTH OF THE CENTERLINE OF BLACK RIVER COURT AND 260± WEST OF THE CENTERLINE OF NORTH BLACK RIVER DRIVE.

BM #5 EL= 605.81' (NAVD 88)  
TOP OF NORTHEAST FLANGE BOLT ON HYDRANT, LOCATED 33± NORTHERLY OF THE CENTERLINE OF BLACK RIVER COURT AND 575± WEST OF THE CENTERLINE OF NORTH BLACK RIVER DRIVE.



## STORM STRUCTURE DATA

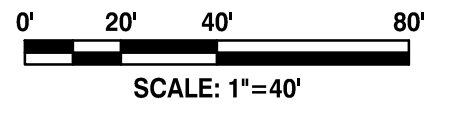
- MH #1 - 4'Ø CONCRETE RIM 604.49  
INV (NE) 24" RCP=598.34  
INV (SW) 24" RCP=598.29  
SUMP=598.19
- CB #2 - 4'Ø CONCRETE RIM 602.88  
INV (NNW) 12" RCP=599.06  
SUMP=597.86
- MH #3 - 4'Ø CONCRETE RIM 603.48  
INV (SW) 24" RCP=597.98  
INV (ENE) 27" RCP=598.03  
INV (SSE) 12" RCP=598.43  
INV (NNW) 18" RCP=597.98  
SUMP=597.48
- CB #4 - 4'Ø CONCRETE RIM 602.95  
INV (SSE) 18" RCP=598.35  
INV (NNW) 18" RCP=598.45  
SUMP=597.20
- CB #5 - 4'Ø CONCRETE RIM 602.46  
INV (N) 12" RCP=598.76  
SUMP=597.76
- MH #6 - 6'Ø CONCRETE RIM 603.13  
INV (E) 27" RCP UNABLE TO SEE  
INV (WSW) 27" RCP=597.73  
INV (N) 12" RCP=598.28  
INV (S) 12" RCP=598.48  
SUMP=597.23
- CB #7 - 4'Ø CONCRETE RIM 602.74  
INV (S) 12" RCP=599.04  
SUMP=597.14
- MH #9 - 6'Ø CONCRETE RIM 603.65  
INV (W) 27" RCP=597.30  
INV (S) 26" RCP=597.15  
SUMP=595.35
- MH #10 - 6'Ø CONCRETE RIM 604.17  
INV (NE) 15" RCP=598.57  
INV (NW) UNABLE TO MEASURE  
INV (N) UNABLE TO MEASURE  
INV (S) UNABLE TO MEASURE  
SUMP=595.17
- CB #11 - 4'Ø CONCRETE RIM 602.19  
INV (N) 15" RCP=598.57  
SUMP=597.49

## SANITARY STRUCTURE DATA

- MH-A - 4'Ø CONCRETE RIM 603.31  
INV (ENE) 8" PVC=593.71  
INV (WSW) 8" PVC=593.81
- MH-B - 4'Ø CONCRETE RIM 602.91  
INV (E) 8" PVC=592.81  
INV (WSW) 8" PVC=592.76
- MH-C - 4'Ø CONCRETE RIM 603.91  
INV (W) 8" PVC=592.21  
INV (E) 8" PVC=592.21  
INV (N) 8" PVC=592.16
- MH-D - 4'Ø CONCRETE RIM 603.20  
INV (W) 8" PVC=593.40  
INV (E) 8" PVC=593.42

## LEGEND

- BENCHMARK
- SET CAPPED REBAR #2696
- FOUND IRON
- CONTROL POINT
- DESCRIBED
- MEASURED
- STORM SEWER MANHOLE
- CATCH BASIN
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- VALVE (WATER & GAS)
- UTILITY RISERS
- UTILITY POLE
- LIGHT POLE
- TRANSFORMER
- HAND HOLE (ELECTRIC)
- UNDERGROUND GAS LINE MARKER
- UNDERGROUND ELECTRIC
- COMMUNICATIONS
- GAS LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- DECIDUOUS TREE



SCALE: 1"=40'

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**MISSION DESIGN**  
9696 BLACK RIVER COURT  
SECTION 36, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.  
-FOR-  
**MISSION DESIGN & AUTOMATION**  
9652 BLACK RIVER COURT HOLLAND, MI 49424

REVISIONS	
1	

Drawn By: **MJD**  
Scale: 1"=40'  
Date: 02-20-2024  
Project #: 2310490.5A  
Sheet Title: **TOPOGRAPHIC / BOUNDARY SURVEY**  
Sheet #: **V-101**  
2 of 2

## MISS DIG INFORMATION

- MISS DIG SURVEY TICKET # 2024012600381-000 (INCLUDES INFORMATION RECEIVED THROUGH 02/05/2024)
- ZEELAND BOARD OF PUBLIC WORKS - 01/26/2024 (MAPS PROVIDED)
  - AT&T - 02/02/2024 (MAPS PROVIDED)
  - HOLLAND CHARTER TOWNSHIP - 02/01/2024 (MAPS PROVIDED)
  - SEMCO ENERGY - 01/26/2024 (MAPS PROVIDED)
  - ACENATEK - 01-26-2024 (MAPS PROVIDED)
  - COMCAST - (NO RESPONSE RECEIVED)

## SURVEY CONTROL

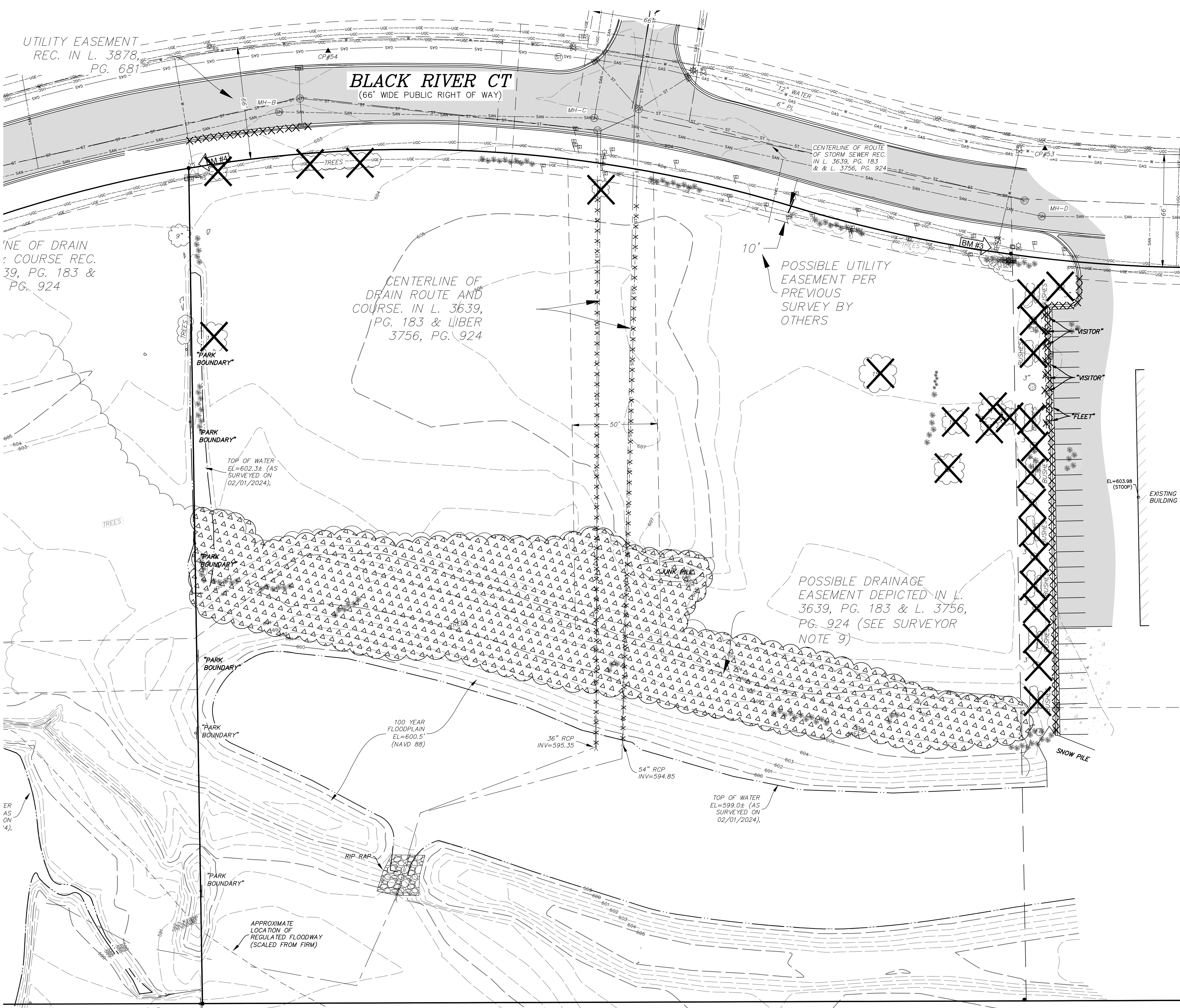
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File: C:\Users\james.driesenka\OneDrive\Documents\Projects\2023\2310490.5A\Map\2310490-Topo.dwg Plot Date: 2/20/2024 2:22 PM



File Name: C:\Users\jason.chapman\OneDrive\Documents\Projects\2023\2310490\1B\Site\_4.dwg Last Saved: 5/7/2024 11:51:08 PM



**CLEARING & DEMOLITION NOTES:**

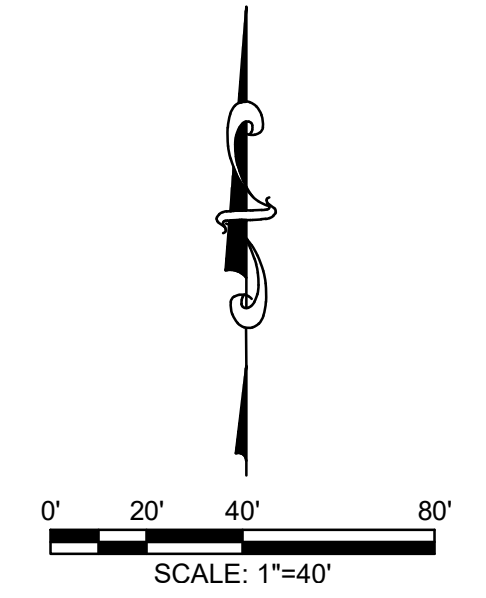
1. REMOVE ALL STRUCTURES, SUPPORT COLUMNS, FOOTINGS, ASPHALT PAVING, CONCRETE CURB, SIDEWALKS, CONCRETE PADS, TREES, STUMPS, HEDGES, UTILITIES, AND OTHER EXISTING SITE FEATURES WITHIN LIMITS OF DEMOLITION. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE INDICATED AND DISPOSED OF IN A MANNER ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
2. MOVEMENT OF CLEARED WOOD IS RESTRICTED; REFER TO EMERALD ASH BORER QUARANTINE INFORMATION AT WWW.MICHIGAN.GOV. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL QUARANTINE REQUIREMENTS.
3. CONSTRUCTION FENCE SHALL BE PLACED AT THE DRIP LINE OF ALL TREES WITHIN THE PROJECT AREA THAT ARE INDICATED TO BE PROTECTED. DO NOT OPERATE EQUIPMENT OR STORE MATERIALS OR VEHICLES WITHIN THIS AREA.
4. UNLESS INDICATED TO BE ABANDONED IN PLACE, ALL UTILITIES TO BE DEMOLISHED SHALL BE REMOVED IN THEIR ENTIRETY. UTILITIES TO BE ABANDONED IN PLACE SHALL BE FILLED WITH FLOWABLE FILL AND SECURELY CAPPED.
5. EXCEPT FOR THOSE UTILITIES INDICATED TO BE ABANDONED OR REMOVED, RECONNECT ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION.
6. ALL CATCHBASIN AND MANHOLE FRAMES AND COVERS SPECIFIED TO BE REMOVED SHALL BE SALVAGED, CLEANED AND INSPECTED, AND MAY BE REUSED WITH APPROVAL BY ENGINEER.
7. ANY REMOVAL OF PAVEMENT, SIDEWALK, CURB AND GUTTER OR OTHER HARD SURFACES SHALL BE TO A SAWCUT LINE AT THE NEXT JOINT BEYOND REMOVAL LIMITS SHOWN.
8. DEMOLITION WORK IS INDICATED BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH THE EXTENT OF DEMOLITION WORK REQUIRED.

**REMOVAL LEGEND:**

- CONCRETE REMOVAL
- ASPHALT REMOVAL
- BUILDING REMOVAL
- GRAVEL REMOVAL
- TREE CLEARING
- TREE/SHRUB REMOVAL
- FENCE/WALL/UTILITY/MISC. REMOVAL

**LEGEND**

- BENCHMARK
- STORM SEWER MANHOLE
- CATCH BASIN
- FLARED END SECTION
- SANITARY SEWER MANHOLE
- CLEANOUT
- WELL HEAD
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SPRINKLER CONTROL VALVE
- SPRINKLER HEAD
- VALVE (WATER & GAS)
- GAS METER
- UTILITY RISERS
- UTILITY POLE
- LIGHT POLE
- GUY ANCHOR
- TRANSFORMER
- HAND HOLE (ELECTRIC)
- ELECTRIC METER
- GROUND MOUNTED LIGHT
- SIGN
- SOIL BORING
- BOLLARD POST
- POST
- GATE
- FENCE LINE
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC COMMUNICATIONS
- TELEPHONE
- FIBER OPTIC
- GAS LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING BITUMINOUS SURFACE
- EXISTING CONCRETE SURFACE
- EXISTING GRAVEL SURFACE
- PROPOSED BITUMINOUS SURFACE
- PROPOSED CONCRETE SURFACE
- CONIFEROUS TREE
- DECIDUOUS TREE
- ORNAMENTAL BUSH



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**MISSION DESIGN**  
 9696 BLACK RIVER COURT  
 SECTION 36, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.  
**-FOR-**  
**PIONEER CONSTRUCTION**  
 550 KIRTLAND STREET SW, GRAND RAPIDS, MI 49507

**ISSUED FOR:**

1	ISSUED FOR REVIEW	02-23-2024	D. JTC C: JT
2	ISSUED FOR APPROVAL	03-12-2024	D. CTR C: JT

Project Manager:  
**JOHN TENPAS**

Project #  
2310490.1B

Sheet Title:  
**CIVIL  
DEMOLITION  
PLAN**

Sheet #

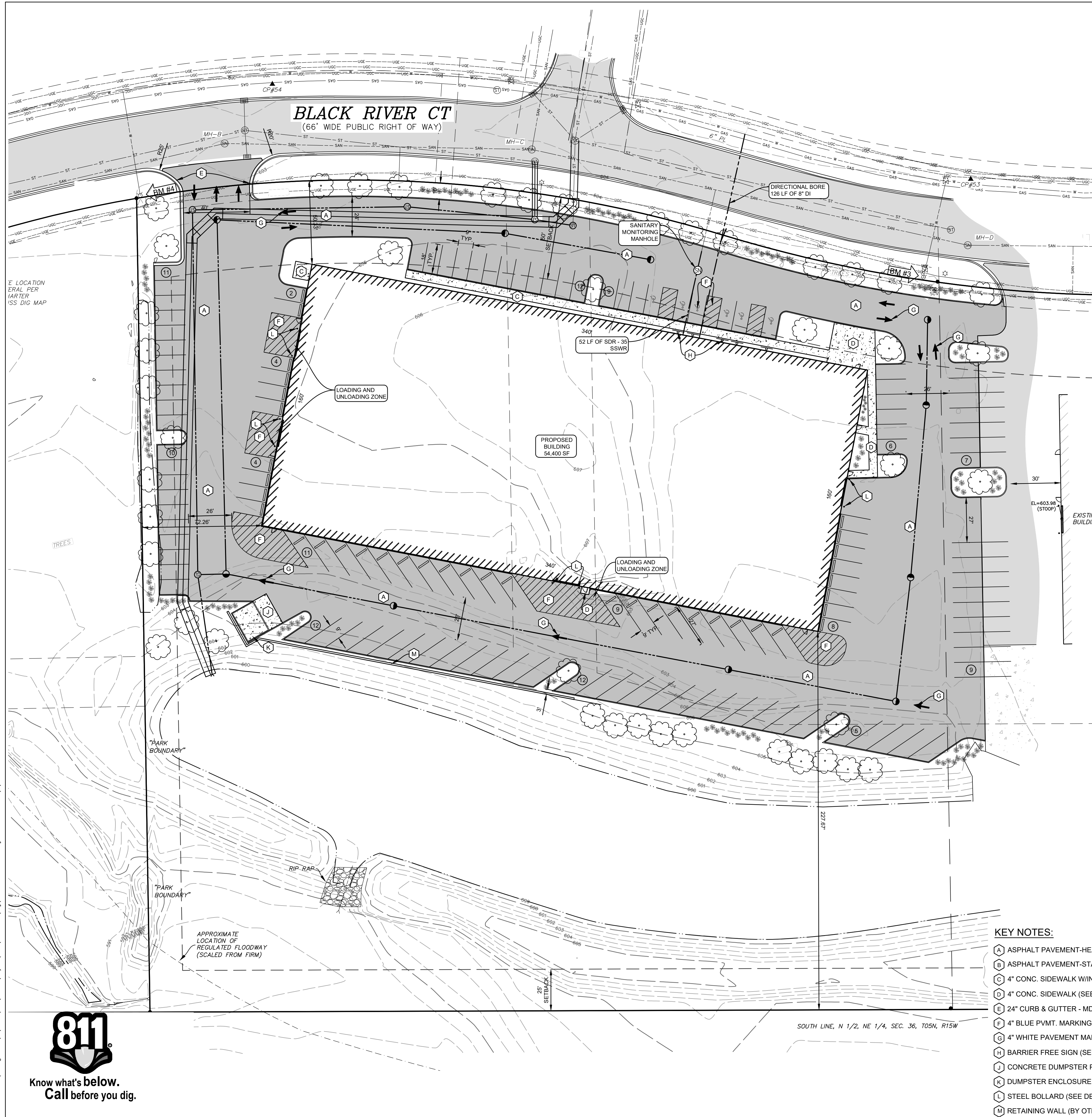
CD-101

4 of 10



**Know what's below.  
Call before you dig.**





**PROJECT SUMMARY**

<b>1. PARCEL INFORMATION</b>		I1 - LIGHT INDUSTRIAL DISTRICT	
CURRENT ZONING:		9696 BLACK RIVER COURT	
SITE ADDRESS:		70-16-36-200-031	
PARCEL NUMBER:			
<b>MIN. LAND AREA:</b>		REQUIRED	PROVIDED
0.92 AC		0.92 AC	9.82 AC
<b>MIN. LOT WIDTH:</b>		150 FT	869.59 FT
<b>2. BUILDING</b>		REQUIRED	PROVIDED
<b>MAX. BUILDING HEIGHT:</b>		45 FT	32 FT
<b>MAX. BUILDING SIZE:</b>		N/A SFT	54,400 SFT
<b>MAX. LOT COVERAGE:</b>		40%	12.7%
<b>3. SETBACKS</b>		REQUIRED	PROVIDED
<b>FRONT (MIN.)</b>		50 FT	50.33 FT
<b>SIDE (MIN.)</b>		20 FT	132.76 FT
<b>REAR (MIN.)</b>		25 FT	227.67 FT

- 4. REGULATORY APPROVALS**  
THE PROJECT WILL REQUIRE THE FOLLOWING APPROVALS, AT A MINIMUM (OTHER PERMITS/APPROVAL MAY ALSO BE REQUIRED)
- HOLLAND CHARTER TOWNSHIP SITE PLAN
  - HOLLAND CHARTER TOWNSHIP FIRE DEPARTMENT
  - OTTAWA COUNTY DRAIN COMMISSIONER STORM WATER MANAGEMENT
  - OTTAWA COUNTY SOIL EROSION & SEDIMENTATION CONTROL PERMIT
  - OTTAWA COUNTY ROAD COMMISSION ROW/DRIVEWAY
  - EGL E NPDES CONSTRUCTION SITE STORM WATER DISCHARGE (IF DISTURBED AREA IS GREATER THAN 5 ACRES)
  - EGL PUBLIC WATER SYSTEM PERMIT
  - EGL PUBLIC WASTEWATER SYSTEM PERMIT
  - EGL WETLAND PERMIT
  - EGL FLOODPLAIN PERMIT

**5. IMPACT ON PUBLIC SERVICES**  
PROJECT WILL NOT RESULT IN ADVERSE IMPACT TO PUBLIC SERVICES, INCLUDING POLICE & FIRE PROTECTION, UTILITIES, TRAFFIC OR ROADWAYS.

**6. IMPACT TO SURROUNDING PROPERTIES**  
USE OF PROPERTY WILL BE CONSISTENT WITH OTHER USES IN THIS ZONING DISTRICT AND IN THE SURROUNDING AREA. USE OF PROPERTY WILL NOT GENERATE ADVERSE LEVELS OF NOISE, VIBRATION, SMOKE, LIGHT, GLARE, OR OTHER PROBLEMATIC CONDITIONS.

**7. PARKING**

DIMENSIONS	REQUIRED	PROVIDED
SPACES REQUIRED	97X18'	97X18'
OFFICE = 1 PER 300 SFT	58	
MANUFACTURING = 1 PER 800 SF	58	
TOTAL SPACES =		131

- 8. SIGNAGE**  
THERE IS NO NEW GROUND MOUNTED SIGNAGE FOR THIS PLAN SET. FOR BUILDING MOUNTED SIGNAGE SEE ARCHITECTURAL PLANS.
- 9. STORM WATER MANAGEMENT**  
STORM WATER WILL BE COLLECTED IN A SERIES OF CATCHBASINS, PIPES, AND ROUTED TO A WATER QUALITY UNIT AND ULTIMATELY AN EXISTING DETENTION BASIN ON-SITE. THE DETENTION BASIN WILL DISCHARGE TO THE PUBLIC STORM SEWER SYSTEM VIA A CONTROLLED DISCHARGE PER OTTAWA COUNTY DRAIN COMMISSIONER REQUIREMENTS.
- 10. WATER/SEWER SERVICE**  
SITE WILL BE SERVED BY NEW PRIVATE WATER AND SEWER CONNECTIONS CONNECTED TO EXISTING PUBLIC UTILITIES ADJACENT TO THE SITE.

- 11. WETLANDS**  
THERE ARE NO KNOWN REGULATED WETLANDS ON THE SUBJECT PROPERTY.
- 12. FLOODPLAINS**  
THERE ARE NO KNOWN REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY, PER FEMA FIRM MAP CN. 26139C0319E.
- 13. LANDSCAPING**  
\*THE FRONTAGE & YARD LENGTHS ARE MEASURED FROM THE RIGHT OF WAY.
- |                                     |                     |           |
|-------------------------------------|---------------------|-----------|
| <b>NORTH YARD (530 LFT)</b>         | REQUIRED            | PROVIDED  |
| BUFFER                              | 10' MIN             | 10' MIN   |
| TREES                               | 13.25 (1 PER 40 LF) | 14        |
| SHRUBS                              | 39.75 (7 PER 40 LF) | 40        |
| <b>WEST SIDE (243 LFT)</b>          | REQUIRED            | PROVIDED  |
| TREES                               | 6.075               | 6         |
| SHRUBS                              | 18.225              | 19        |
| <b>PARKING LOT (131 SPACES)</b>     | REQUIRED            | PROVIDED  |
| CANOPY TREES                        |                     |           |
| 1 PER 12 SPACES, 50% IN PARKING LOT | 10.92               | 11        |
| LANDSCAPED AREA                     |                     |           |
| 100 SFT PER 12 SPACES               | 1,092.66 SFT        | 1,477 SFT |

- 14. SITE LIGHTING**  
PROPOSED LIGHTING WILL BE WITH SHIELDED LIGHT POLES AND WALL PACKS AT LOCATIONS SHOWN. LIGHTING WILL BE CONSISTENT WITH OTHER USES IN THE AREA AND WILL COMPLY WITH ORDINANCE REQUIREMENTS.
- 15. LOADING/UNLOADING OPERATIONS**  
LOADING/UNLOADING AREAS ARE INDICATED ON THE PLAN. DELIVERY/SHIPMENT OF PRODUCTS AND MERCHANDISE WILL BE DONE USING WB-67 SEMI TRUCKS TRUCKS. DELIVERIES/SHIPMENTS WILL OCCUR 1 TO 2 TIMES PER DAY, 5 DAYS A WEEK DURING NORMAL BUSINESS HOURS.
- 16. REFUSE MANAGEMENT**  
A NEW DUMPSTER ENCLOSURE IS PROPOSED, LOCATED AT THE SOUTH WEST CORNER OF THE SITE. ENCLOSURE WILL COMPLY WITH SCREENING REQUIREMENTS.
- 17. CONSTRUCTION SCHEDULE**  
CONSTRUCTION IS ANTICIPATED TO START IN MAY, 2024 AND BE COMPLETED IN DECEMBER, 2024.

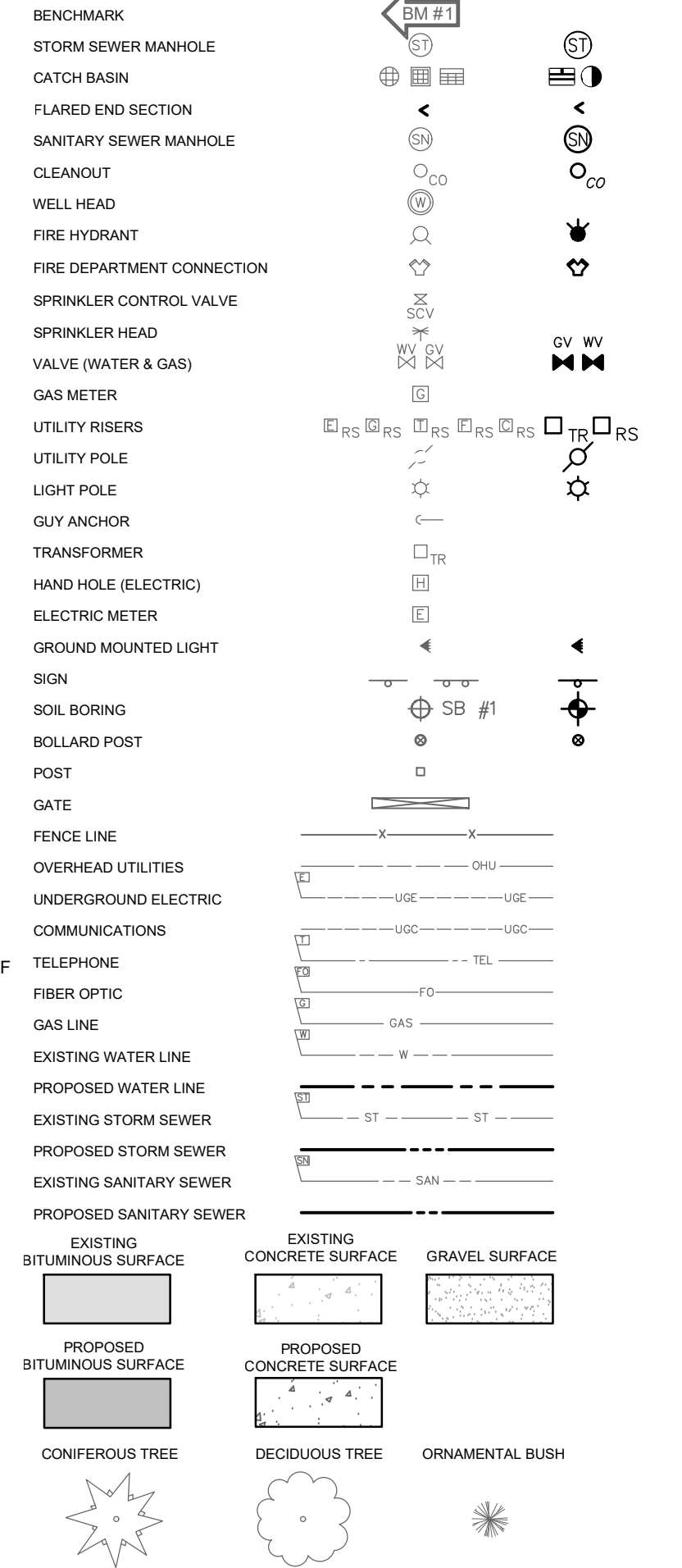
**GENERAL NOTES:**

- CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS REQUIRED.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AUTHORITIES HAVING JURISDICTION.
- CALL "MISS DIG", 811, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION.
- EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON AVAILABLE RECORDS AND/OR TOPOGRAPHIC SURVEY DATA. THIS PLAN MAY NOT SHOW UTILITIES IN THEIR EXACT LOCATION AND MAY NOT SHOW ALL UTILITIES IN THE AREA.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES AT ALL TIMES. ANY INTERRUPTION IN SERVICES TO THIS SITE OR ADJACENT SITES MUST BE SCHEDULED WITH THE OWNER, UTILITY PROVIDER, AND AFFECTED PROPERTIES 48 HOURS PRIOR TO THE INTERRUPTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION OF AFFECTED WORK TO DETERMINE COURSE OF ACTION.
- CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS ON OR ADJACENT TO THE PROJECT SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING AND COORDINATING THEIR WORK WITH ALL UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS.

**LAYOUT NOTES:**

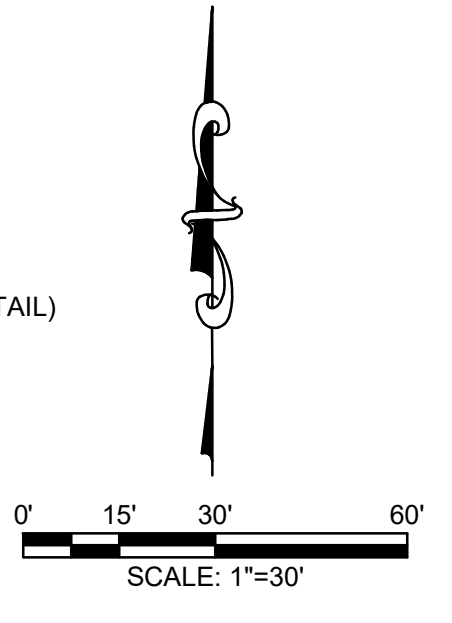
- CONTRACTOR SHALL REVIEW AND VERIFY SITE LAYOUT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ENGAGE A LICENSED SURVEYOR TO PERFORM ALL CONSTRUCTION LAYOUT AND STAKING AS NECESSARY.
- ALL COORDINATE POINTS AND DIMENSIONS GIVEN, UNLESS OTHERWISE NOTED, ARE TO BACK OF CURB AND FACE OF BUILDING WALL.
- REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR BITUMINOUS PAVEMENT.

**LEGEND**



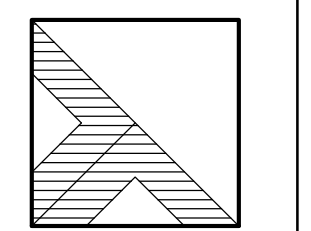
**KEY NOTES:**

- (A) ASPHALT PAVEMENT-HEAVY DUTY (SEE DETAIL)
- (B) ASPHALT PAVEMENT-STANDARD DUTY (SEE DETAIL)
- (C) 4" CONC. SIDEWALK W/INTEGRAL CURB (SEE DETAIL)
- (D) 4" CONC. SIDEWALK (SEE DETAIL)
- (E) 24" CURB & GUTTER - MDO F4 MODIFIED (SEE DETAIL)
- (F) 4" BLUE PVMT. MARKING & SYMBOL PER ADA STD. S, TYP (SEE DETAIL)
- (G) 4" WHITE PAVEMENT MARKINGS, TYP
- (H) BARRIER FREE SIGN (SEE DETAIL)
- (J) CONCRETE DUMPSTER PAD (SEE DETAIL)
- (K) DUMPSTER ENCLOSURE (SEE DETAIL)
- (L) STEEL BOLLARD (SEE DETAIL)
- (M) RETAINING WALL (BY OTHERS)



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9696 BLACK RIVER COURT  
SECTION 36, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.  
-FOR-  
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Project Manager:  
**JOHN TENPAS**  
Project #  
2310490.1B  
Sheet Title:

**SITE PLAN**

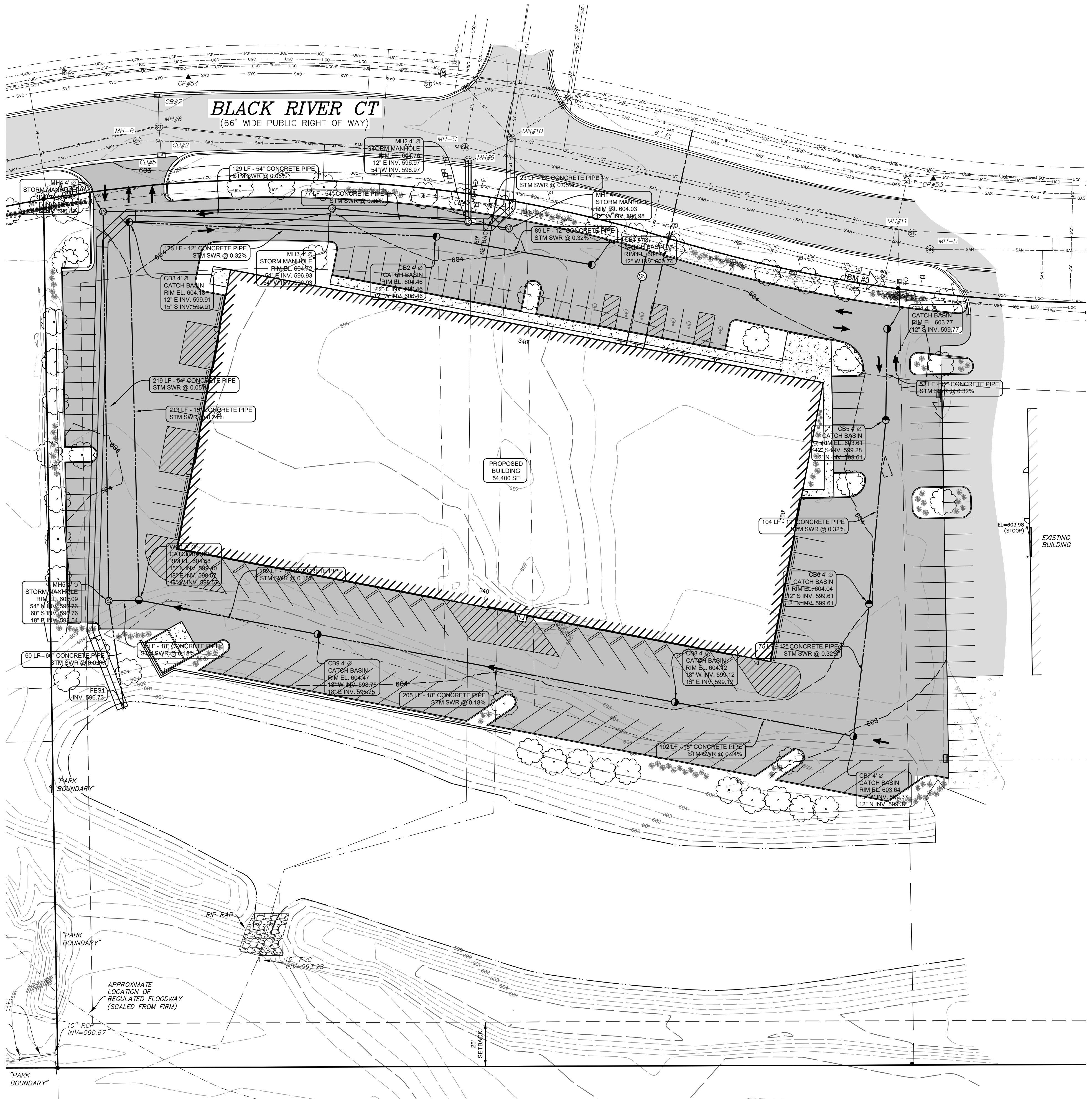
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**C-101**  
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**UTILITY NOTES:**

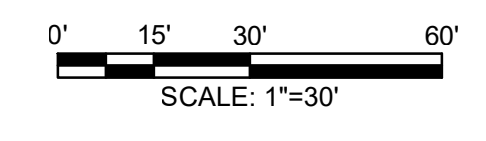
- CONTRACTOR SHALL OBTAIN CONNECTION PERMIT PRIOR TO INSTALLATION OF ANY PRIVATE WATER, SANITARY, OR STORM CONNECTIONS TO PUBLIC MAIN.
- CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED FOR ANY PROPOSED PUBLIC WATER MAIN, SANITARY SEWER, OR STORM SEWER. CONTRACTOR SHALL COORDINATE WITH MUNICIPALITY PRIOR TO CONSTRUCTION TO SCHEDULE PRE-CONSTRUCTION MEETING AND TO ENSURE COMPLIANCE WITH INSPECTION/TESTING REQUIREMENTS.
- REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
- ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL DOCUMENT, AND FURNISH TO OWNER AND ENGINEER, WITNESS DIMENSIONS FOR ALL UTILITY STUBS AND CONDUITS INSTALLED.
- ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF AGGREGATE BASE.

**RESTORATION NOTES:**

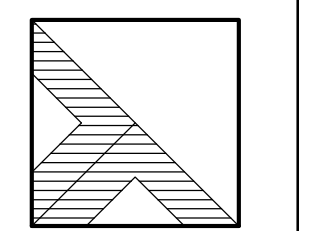
- EXISTING ONSITE TOPSOIL MAY BE USED IF APPROVED BY ENGINEER. IF NOT APPROVED, IMPORTED TOPSOIL MEETING PROJECT SPECIFICATIONS SHALL BE USED.
- RETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 3" OF LOOSE SANDY TOPSOIL, SEED, FERTILIZER, AND MULCH ON BASIN BOTTOM. RETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 3" OF LOOSE SANDY TOPSOIL, SEED, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL. SEED MIX SHALL BE JFNEW STORMWATER SEED MIX OR EQUAL ON BASIN BOTTOM AND 2 FEET VERTICALLY UP SIDESLOPE, AND SUITABLE GRASS SEED MIX ABOVE 2 FOOT LEVEL.
- DETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH ON BASIN BOTTOM. DETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL.
- ALL OTHER SLOPES STEEPER THAN 1 ON 4 SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL.
- ALL OTHER DISTURBED AREAS SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH.

**LEGEND**

BENCHMARK	EXISTING	PROPOSED
STORM SEWER MANHOLE		
CATCH BASIN		
FLARED END SECTION		
SANITARY SEWER MANHOLE		
CLEANOUT		
WELL HEAD		
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION		
SPRINKLER CONTROL VALVE		
SPRINKLER HEAD		
VALVE (WATER & GAS)		
GAS METER		
UTILITY RISERS		
UTILITY POLE		
LIGHT POLE		
GUY ANCHOR		
TRANSFORMER		
HAND HOLE (ELECTRIC)		
ELECTRIC METER		
GROUND MOUNTED LIGHT		
SIGN		
SOIL BORING		
BOLLARD POST		
POST		
GATE		
FENCE LINE		
OVERHEAD UTILITIES		
UNDERGROUND ELECTRIC COMMUNICATIONS		
TELEPHONE		
FIBER OPTIC		
GAS LINE		
EXISTING WATER LINE		
PROPOSED WATER LINE		
EXISTING STORM SEWER		
PROPOSED STORM SEWER		
EXISTING SANITARY SEWER		
PROPOSED SANITARY SEWER		
BITUMINOUS SURFACE		
CONCRETE SURFACE		
GRAVEL SURFACE		
CONIFEROUS TREE		
DECIDUOUS TREE		
ORNAMENTAL BUSH		



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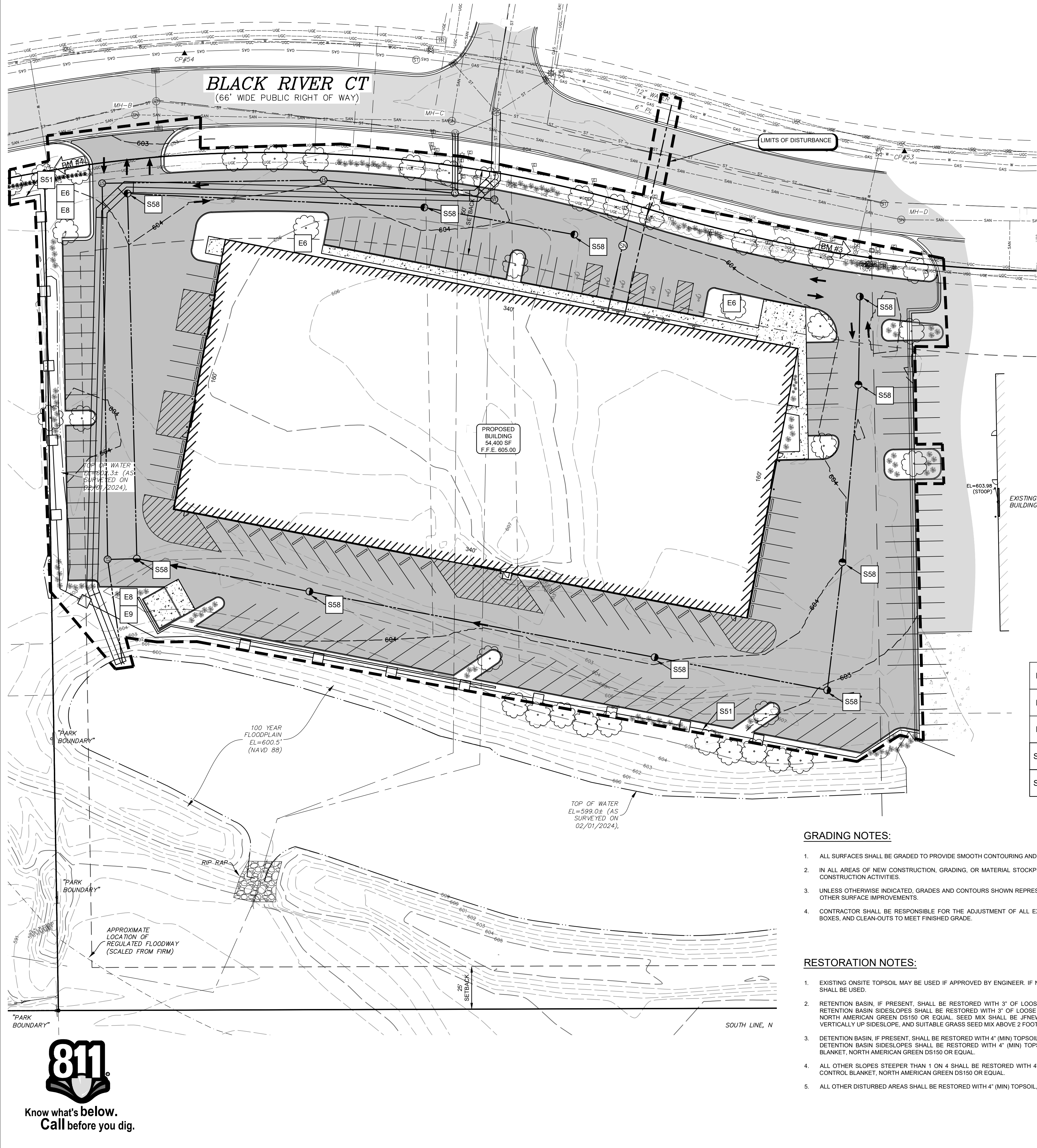
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2310490.1B

Sheet Title:  
STORM SEWER PLAN

Sheet #

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6 of 10





**SOIL EROSION & SEDIMENTATION CONTROL (SESC) NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE SESC PERMIT.
- PLACE TEMPORARY SESC MEASURES AS INDICATED ON DRAWING PRIOR TO EARTH MOVING AND GRADING ACTIVITIES.
- CONTRACTOR SHALL AVOID THE UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER.
- INSPECT AND MAINTAIN ALL TEMPORARY SESC MEASURES AFTER STORM EVENTS AND AS NECESSARY TO ASSURE PROPER FUNCTION.
- ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 7 DAYS SHALL HAVE PERIMETER SILT FENCE. ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
- DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE AND PERMANENTLY STABILIZED WITHIN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
- TEMPORARY SEEDING SHALL CONSIST OF OATS AND/OR BARLEY AT AN APPLICATION RATE OF 2.0 LBS/1000 SFT MINIMUM APRIL 1 THROUGH AUGUST 31, OR ANNUAL REYGRASS AT AN APPLICATION RATE OF NOT LESS THAN 2.0 LBS/1000 SFT AUGUST 1 THROUGH NOVEMBER 15. IRRIGATE IF NECESSARY TO ESTABLISH TEMPORARY COVER.
- TEMPORARY SESC MEASURES SHALL REMAIN IN PLACE UNTIL ALL PERMANENT SESC MEASURES ARE INSTALLED, AND VEGETATION IS UNIFORMLY ESTABLISHED. RE-GRADE, RE-SEED AND PLACE ADDITIONAL TOPSOIL IN ERODED AREAS AS NECESSARY UNTIL FINAL LANDSCAPING IS INSTALLED.
- CONSTRUCTION OF SEDIMENT BASINS AND DIVERSION DITCHES SHALL BE COMPLETED PRIOR TO SITE CLEARING AND GRADING.
- INSTALL INLET SEDIMENT TRAPS ("SILT SACK" OR EQUAL) IN ALL PROPOSED CATCHBASINS AS INDICATED ON THIS DRAWING. CLEAN INLET SEDIMENT TRAPS ON A WEEKLY BASIS AND AFTER RAIN EVENTS AS REQUIRED.
- CONTRACTOR SHALL INSPECT AND CLEAN OUT ALL EXISTING AND PROPOSED STORM SEWER CATCHBASINS AND MANHOLES WITHIN THE PROJECT LIMITS, OR OUTSIDE THE PROJECT LIMITS IF SUBJECT TO CONSTRUCTION SITE RUNOFF, AS NECESSARY DURING CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE.
- PLACE SILT FENCE ALONG DISTURBED AREAS WHERE SURFACE WATER WILL FLOW INTO EXISTING SWALES, DITCHES AND ADJACENT PROPERTIES. ANCHOR SILT FENCE TO PREVENT UNCONTROLLED RELEASE OF SILT LADEN WATER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY SWEEPING OF TRACKED MATERIALS FROM ALL ROADWAYS.
- THE SESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM MEASURES REQUIRED. DUE TO SITE ACTIVITIES AND SCHEDULES, ADDITIONAL MEASURES WILL LIKELY BE REQUIRED TO MAINTAIN SITE ACCORDING TO APPLICABLE STATE AND FEDERAL GUIDELINES AT NO ADDITIONAL COST TO THE OWNER.
- ONCE SITE IS STABILIZED, ALL TEMPORARY SESC MEASURES SHALL BE REMOVED.

**CONTINUED MAINTENANCE OF PERMANENT SESC MEASURES:**

PROPERTY OWNER SHALL BE RESPONSIBLE TO MAINTAIN PERMANENT SESC MEASURES.

**PAVING:**  
REPAIR CRACKED OR DAMAGE PAVEMENT AS NEEDED.

**SEEDING:**  
INSPECT NEWLY SEEDED AREAS SUBSEQUENT TO ANTICIPATED GERMINATION DATE AND AFTER EACH SIGNIFICANT RAINFALL EVENT THAT PRODUCES RUNOFF UNTIL AREAS ARE STABILIZED.  
REPAIR ERODED AREAS, APPLYING SUPPLEMENTAL SEED, MULCH AND WATER AS NEEDED.  
IF SEED DOES NOT ESTABLISH, CONDUCT SOIL TESTS, AMEND SOILS AS NEEDED, AND REAPPLY SEED AND/OR MULCH DURING THE RECOMMENDED GROWING SEASON.  
TO ASSIST IN THE ESTABLISHMENT OF NATIVE SPECIES REMOVE UNWANTED COMPETING VEGETATION IN THE FIRST YEAR. MOWING CAN BE USED PERIODICALLY TO DISCOURAGE WEEDS.

**SESC SITE SUMMARY:**

- NATIVE SITE SOIL IS CLASSIFIED AS SANDY LOAM & SILTY CLAY PER USDA WEB SOIL SURVEY OR SOIL BORINGS.
- WETLANDS  
THERE ARE NO KNOWN REGULATED WETLANDS ON THE SUBJECT PROPERTY.
- FLOODPLAINS  
THERE ARE KNOWN REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY, PER FEMA FIRM MAP CN: 26139C0319E.
- AREA OF DISTURBANCE: 3.6 ACRES

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SITE CLEARING AND INSTALL CONTROLS												
ROUGH GRADE SITE												
INSTALL UTILITIES												
BUILDING CONSTRUCTION												
FINAL GRADING												
PAVING												
SEEDING & STABILIZATION												

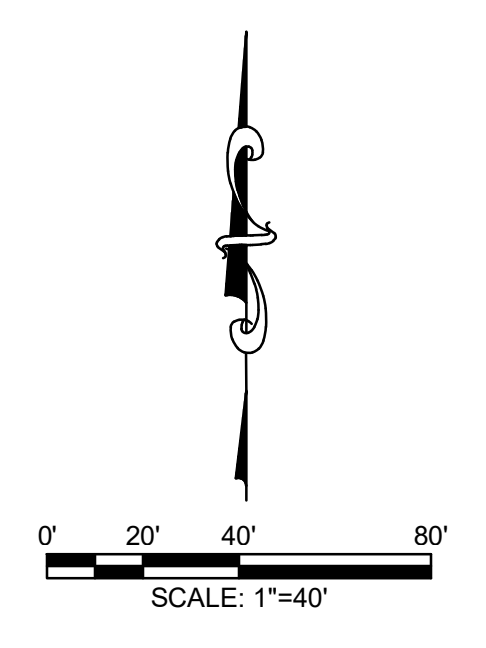
Code	Description	Image	Notes
E6	MULCH		FOR USE IN AREAS SUBJECT TO ERODIVE SURFACE FLOWS OR SEVERE WIND OR ON NEWLY SEEDED AREAS.
E8	PERMANENT SEEDING		STABILIZATION METHOD UTILIZED ON SITES WHERE EARTH CHANGE HAS BEEN COMPLETED (FINAL GRADING ATTAINED).
E9	MULCH BLANKETS		ON EXPOSED SLOPES, NEWLY SEEDED AREAS, NEW DITCH BOTTOMS, OR AREAS SUBJECT TO EROSION.
S51	SILT FENCE		USE ADJACENT TO CRITICAL AREAS, TO PREVENT SEDIMENT LADEN SHEET FLOW FROM ENTERING THESE AREAS.
S58	INLET PROTECTION FABRIC DROP		USE AT STORMWATER INLETS, ESPECIALLY AT CONSTRUCTION SITES.

**LEGEND**

- XXXXXX FINISH GRADE ELEVATION
- MG XXXXX MATCH EXISTING GRADE ELEVATION
- TC XXXXX FINISH GRADE ELEVATION AT BACK OF CURB
- FL XXXXX FINISH GRADE ELEVATION AT FLOW LINE
- TW XXXXX FINISH GRADE ELEVATION AT TOP OF WALL
- BW XXXXX FINISH GRADE ELEVATION AT BOTTOM OF WALL AT GROUND
- PROPOSED SWALE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- 627.00 MINIMUM OPENING ELEV. (M.O.E.)
- 623.50 MINIMUM BASEMENT ELEV. (M.B.E.)

**LEGEND**

- BENCHMARK
- STORM SEWER MANHOLE
- CATCH BASIN
- FLARED END SECTION
- SANITARY SEWER MANHOLE
- CLEANOUT
- WELL HEAD
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SPRINKLER CONTROL VALVE
- SPRINKLER HEAD
- VALVE (WATER & GAS)
- GAS METER
- UTILITY RISERS
- UTILITY POLE
- LIGHT POLE
- GUY ANCHOR
- TRANSFORMER
- HAND HOLE (ELECTRIC)
- ELECTRIC METER
- GROUND MOUNTED LIGHT
- SIGN
- SOIL BORING
- BOLLARD POST
- POST
- GATE
- FENCE LINE
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- COMMUNICATIONS
- TELEPHONE
- FIBER OPTIC
- GAS LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING BITUMINOUS SURFACE
- EXISTING CONCRETE SURFACE
- EXISTING GRAVEL SURFACE
- PROPOSED BITUMINOUS SURFACE
- PROPOSED CONCRETE SURFACE
- PROPOSED GRAVEL SURFACE
- CONIFEROUS TREE
- DECIDUOUS TREE
- ORNAMENTAL BUSH



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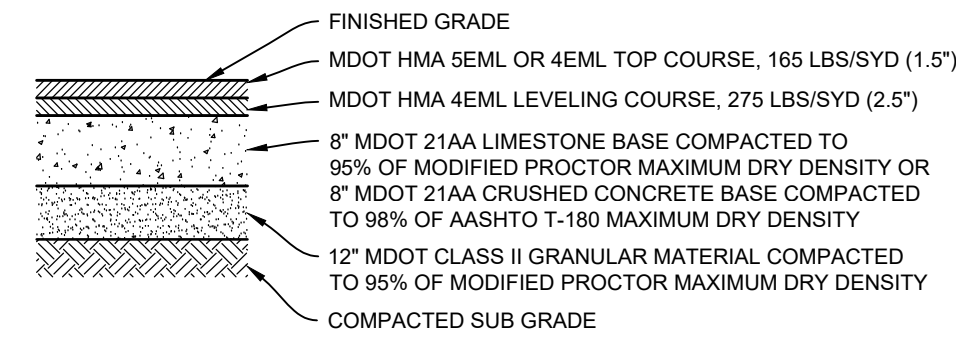
Project Manager:  
**JOHN TENPAS**  
Project #  
2310490.1B  
Sheet Title:  
**GRADING AND SOIL EROSION CONTROL PLAN**

Sheet #  
**C-103**  
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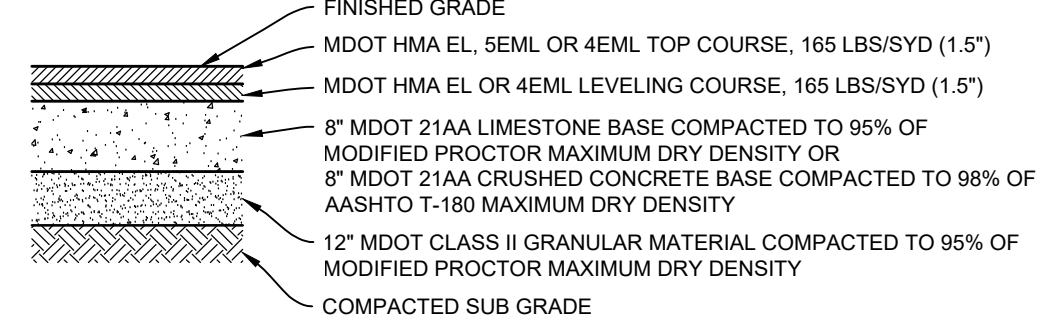




\*NOTE: HMA SHALL MEET CURRENT MDOT STANDARDS AND SPECIFICATIONS, AND BE COMPACTED TO 92-96% OF THEORETICAL MAXIMUM DENSITY (TMD)

**HMA PAVEMENT SECTION (HEAVY DUTY)**

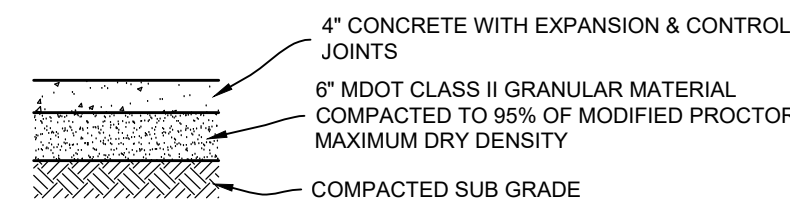
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\*NOTE: HMA SHALL MEET CURRENT MDOT STANDARDS AND SPECIFICATIONS, AND BE COMPACTED TO 92-96% OF THEORETICAL MAXIMUM DENSITY (TMD)

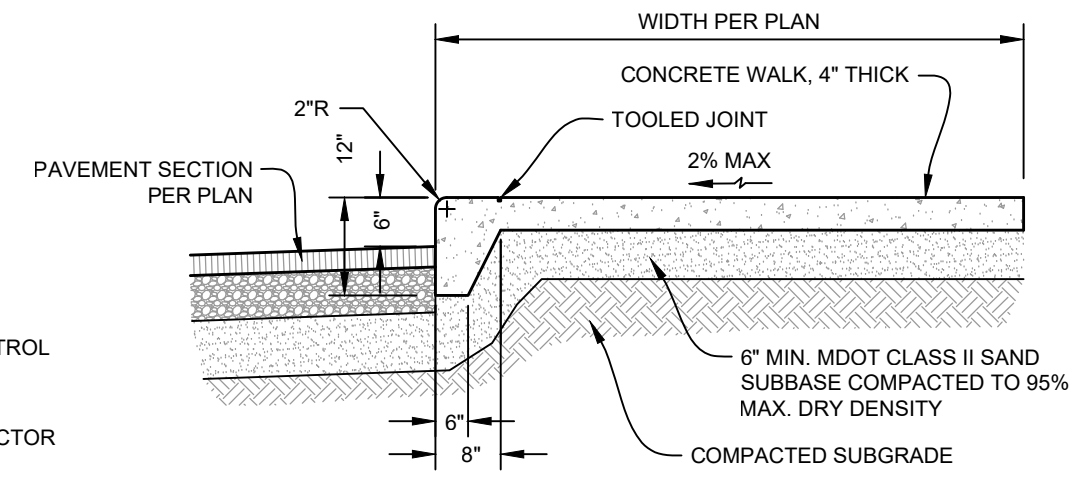
**HMA PAVEMENT SECTION (STANDARD DUTY)**

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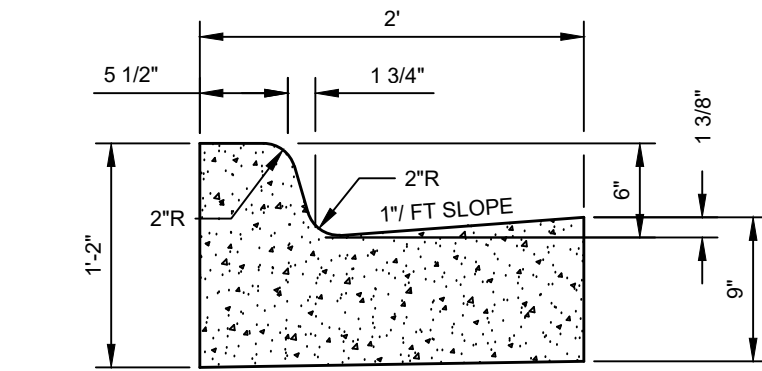
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**SIDEWALK WITH INTEGRAL CURB**

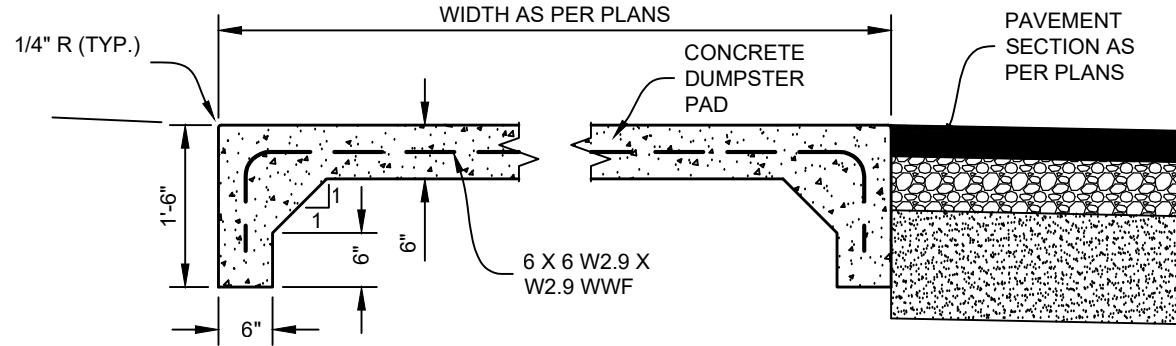
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**CURB & GUTTER - MDOT DETAIL F4 MODIFIED**

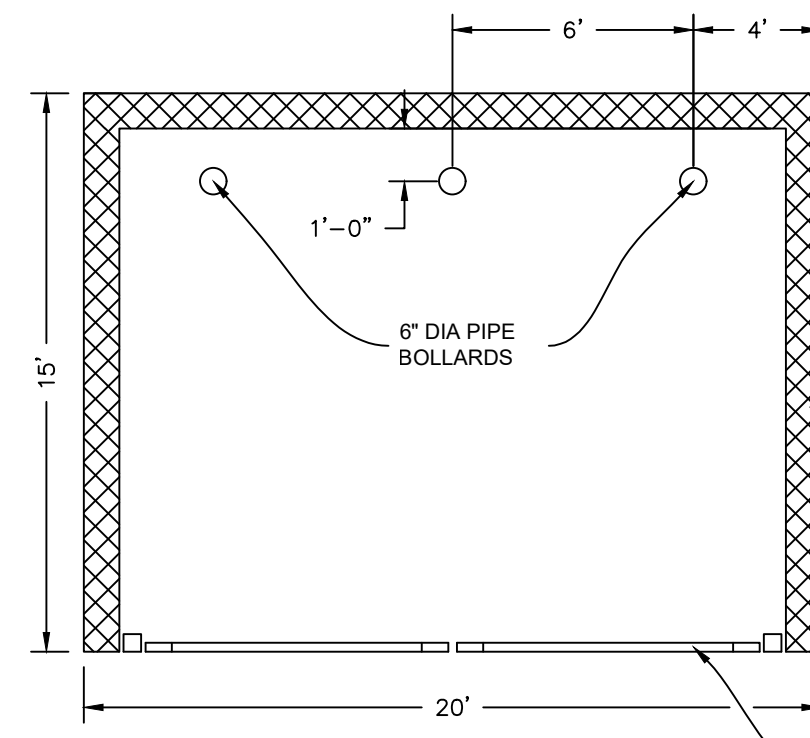
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- NOTES:
- CONTRACTION JOINTS SHALL BE PLACED EVERY 10'.
  - PLACE EXPANSION JOINTS AT 350' MIN. AND ALL RADIUS POINTS.
  - CONCRETE SHALL CONFORM TO MDOT SPEC. 802.
  - MDOT DETAIL F4 HAS BEEN MODIFIED TO OMIT THE #4 REBARS.



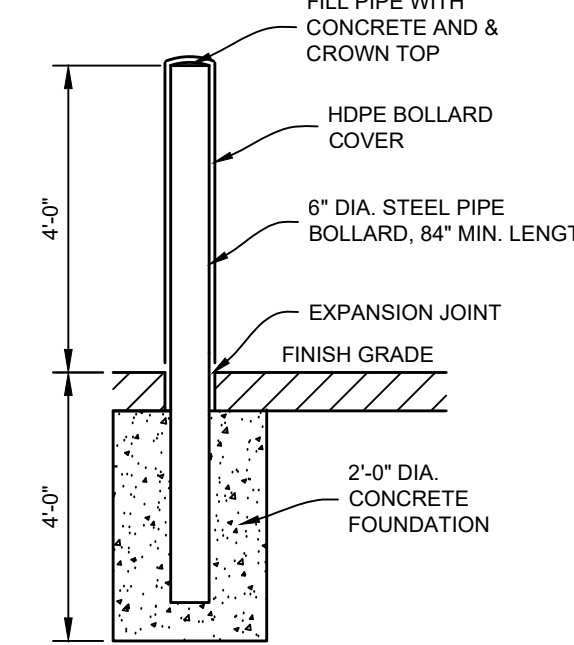
**CONCRETE DUMPSTER PAD SECTION**

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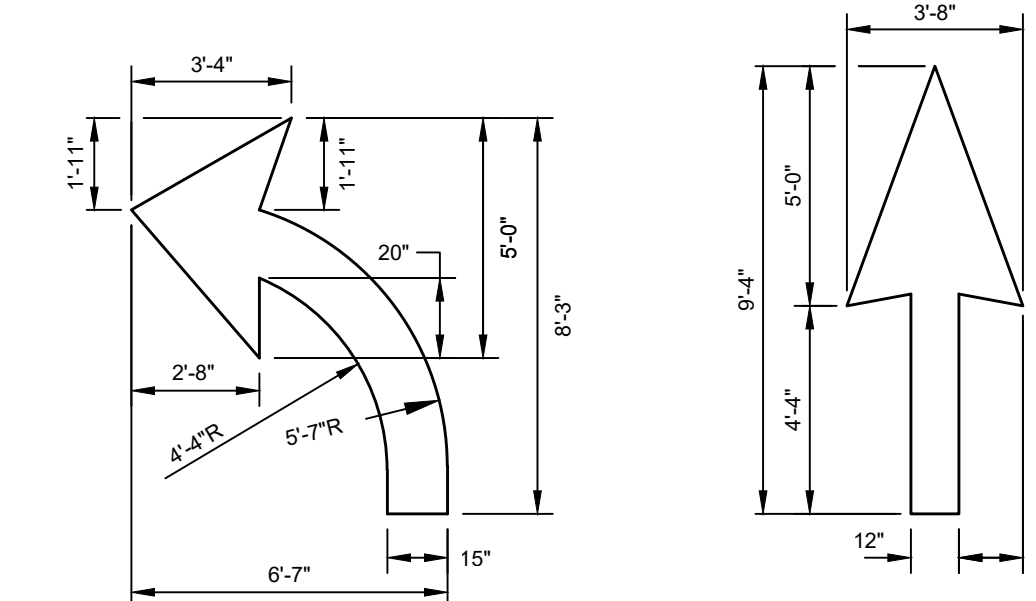
**DUMPSTER ENCLOSURE**

NO SCALE



**STEEL BOLLARD**

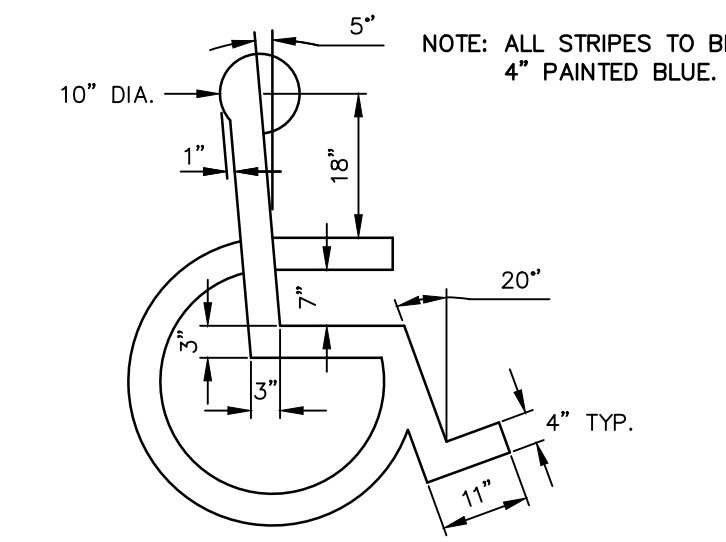
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**PAVEMENT MARKINGS**

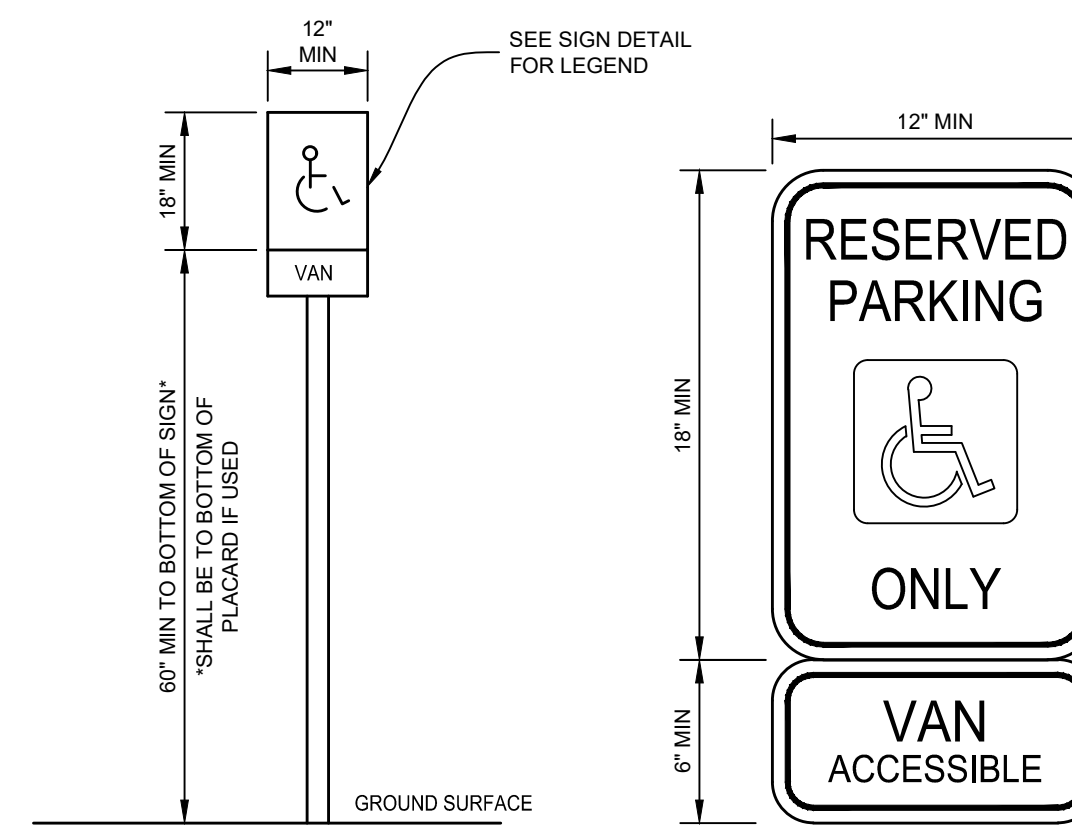
NO SCALE

- NOTE:
- ALL FACILITIES FOR THE DISABLED SHALL CONFORM WITH THE AMERICANS WITH DISABILITIES ACT AND ALL REVISIONS.
  - THE CHARACTERS AND THE BACKGROUND OF SIGNS SHALL BE EGGSHELL MATTE. OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. LIGHT CHARACTERS ON DARK BACKGROUND ARE PREFERRED.
  - CONTRAST LEVELS OF SYMBOLS TO BACKGROUND TO BE A MINIMUM OF 70%.
  - CONTRACTOR SHALL VERIFY THAT THE SYMBOL SHOWN MEETS THE CURRENT STANDARDS FOR THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND SHALL BE IN COMPLIANCE WITH ICC/ANSI FIGURE 703.7.2.1.



**BARRIER FREE SYMBOL**

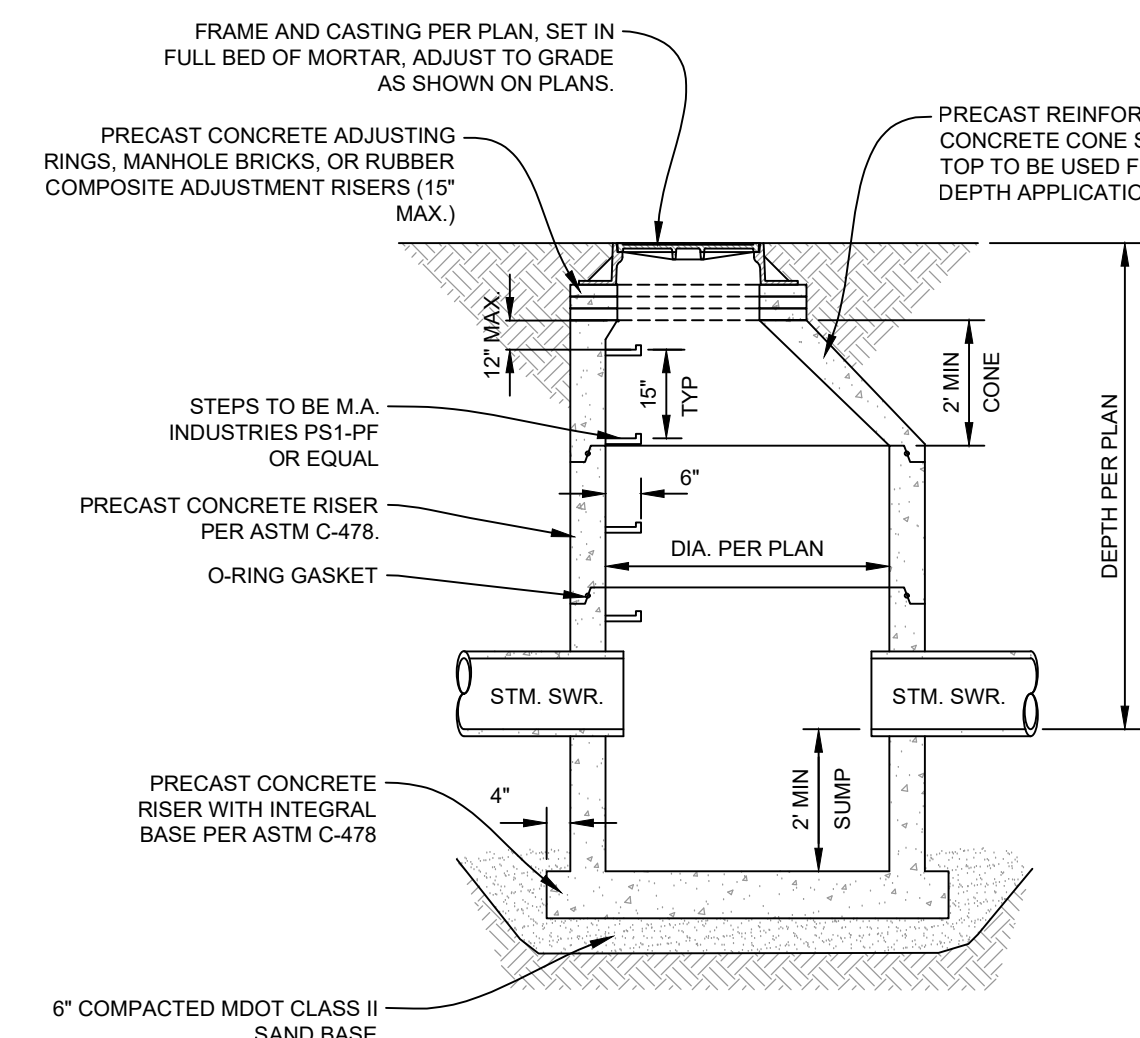
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**BARRIER FREE SIGN**

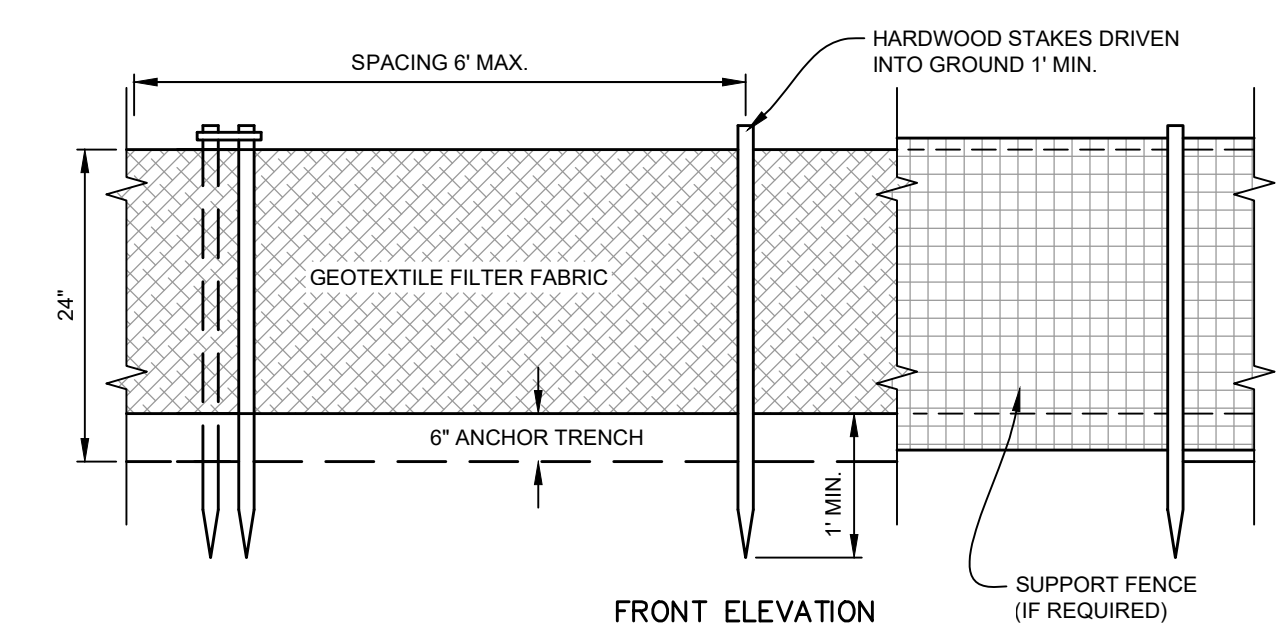
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VAN ACCESSIBLE SPACES SHALL BE IDENTIFIED WITH "VAN ACCESSIBLE" PLACARD

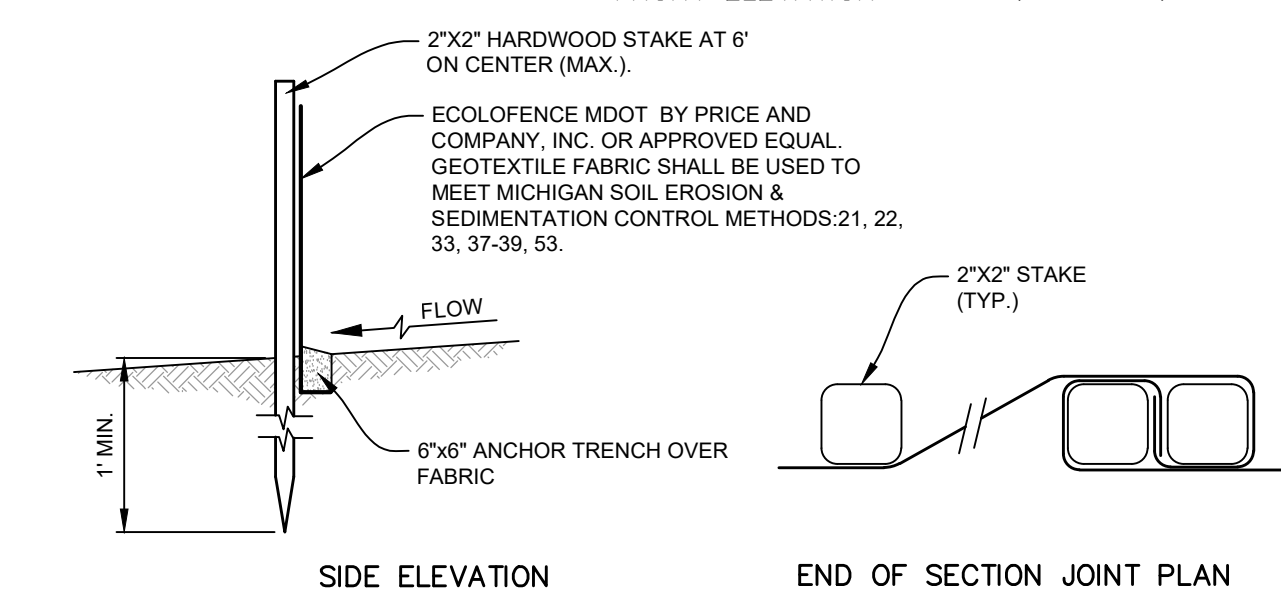


**CATCH BASIN**

NO SCALE



**FRONT ELEVATION**

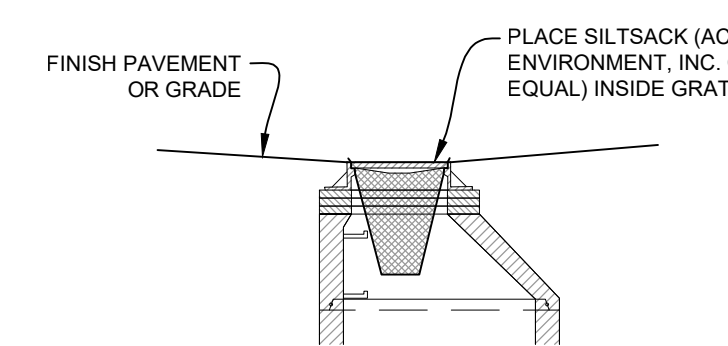


**SIDE ELEVATION**

**END OF SECTION JOINT PLAN**

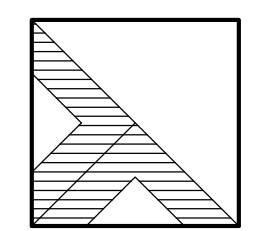
**SILT FENCE**

NO SCALE



**SILT SACK**

NO SCALE



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Project Manager:

JOHN TENPAS

Project #

2310490.1B

Sheet Title:

**DETAILS**

Sheet #

**C-501**

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**Article 11 Landscaping & Screening**

**Front Yard Landscaping:**  
1 Canopy Tree and 3 Shrubs per 40 ln. ft. of front yard is required.

**Black River Court Front Yard: 550 ln. ft./40 = 13.25**  
Required: 13.25 Canopy Trees and 39.75 Shrubs  
Provided: 14 Canopy Trees and 40 Shrubs

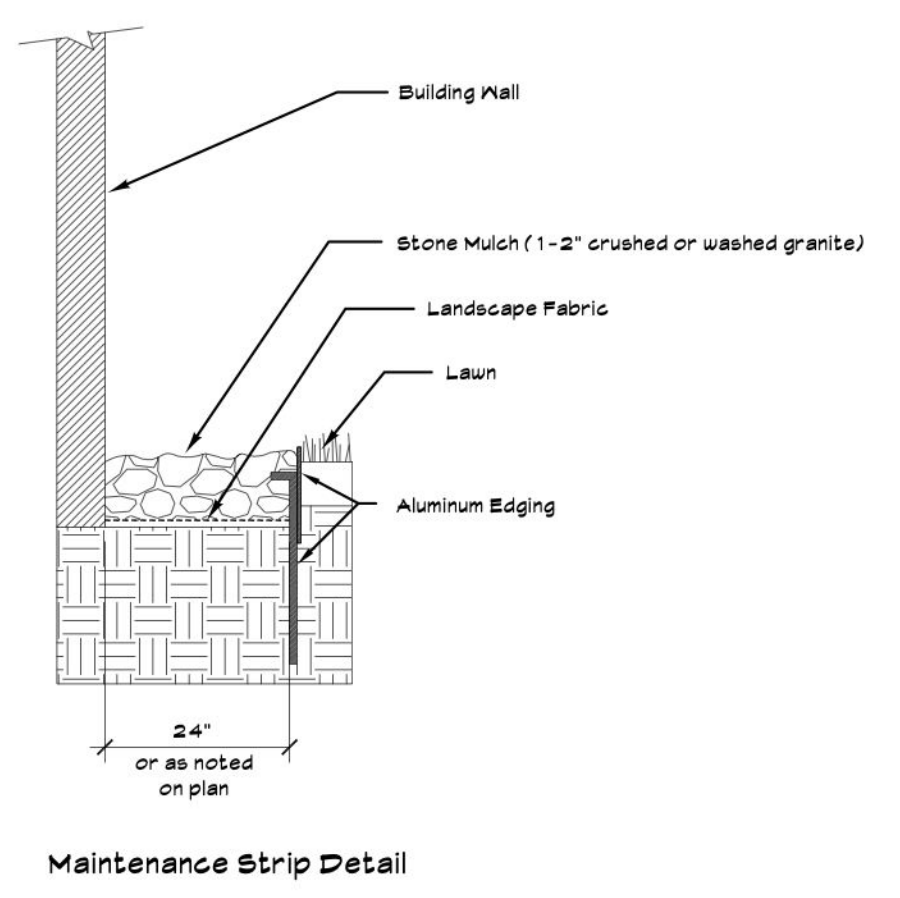
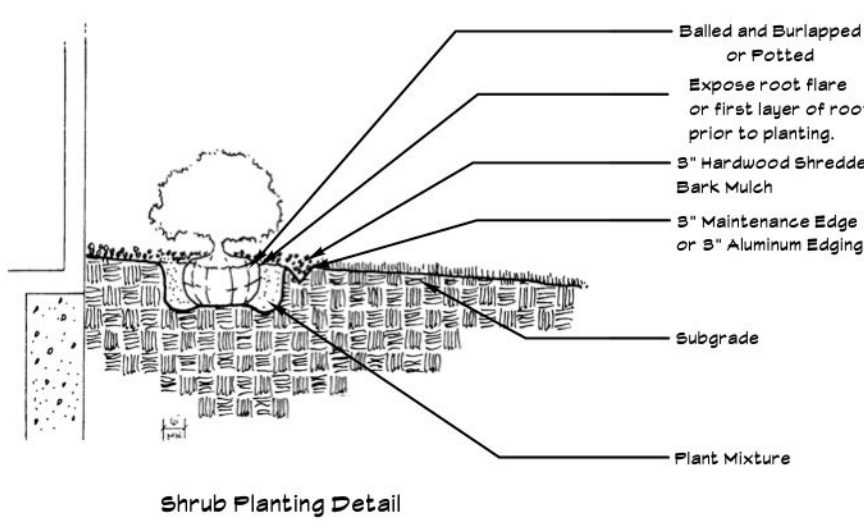
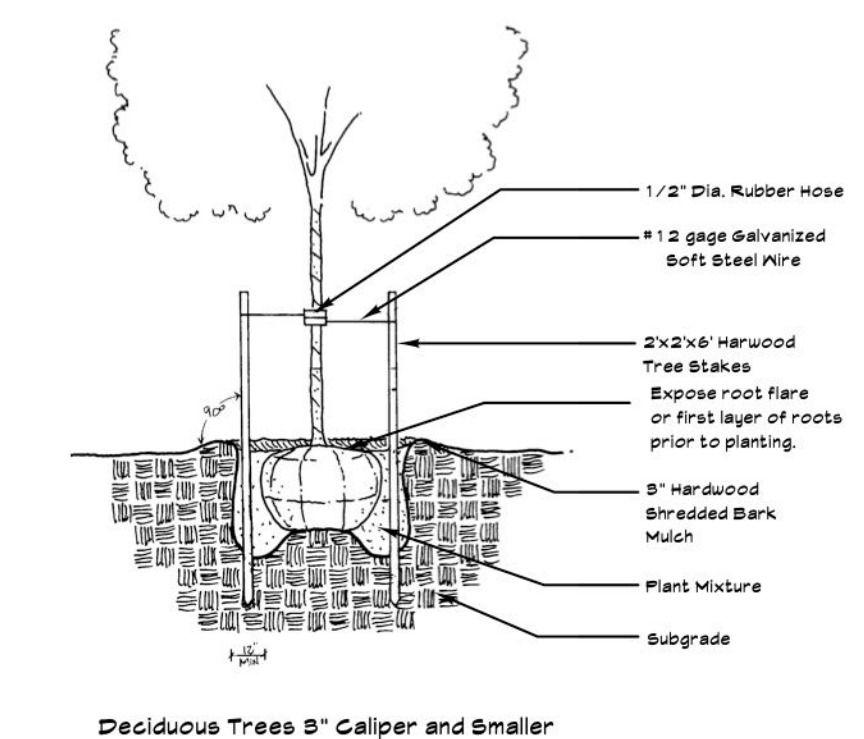
**Parking Lot Landscaping:**  
1 Canopy Tree and 100 sq. ft. of landscaped area shall be provided per 12 parking spaces.

**Required (Based on 13 parking spaces):**  
10.92 Canopy Trees and 1092.66 sq. ft. of landscaped area.  
Provided: 11 Canopy Trees & 1477 sq. ft. landscaped area.

**Buffer Type C:**  
1 Canopy Tree and 3 Shrubs per 40 ln. ft. of buffer area required.

**West Property Line: 243 ln. ft./40 = 6.075**  
Required: 6.075 Canopy or Evergreen Trees and 18.225 Shrubs  
Provided: 6 Canopy Trees and 19 Shrubs

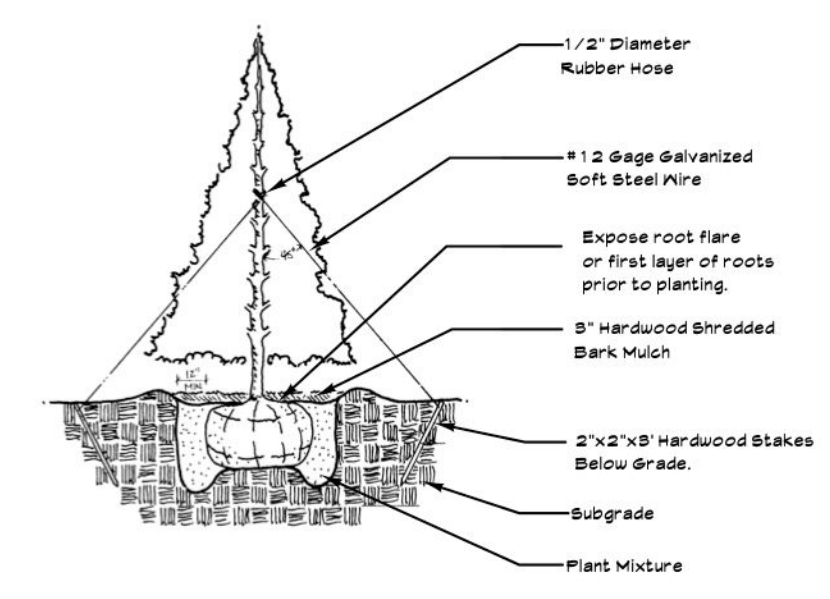
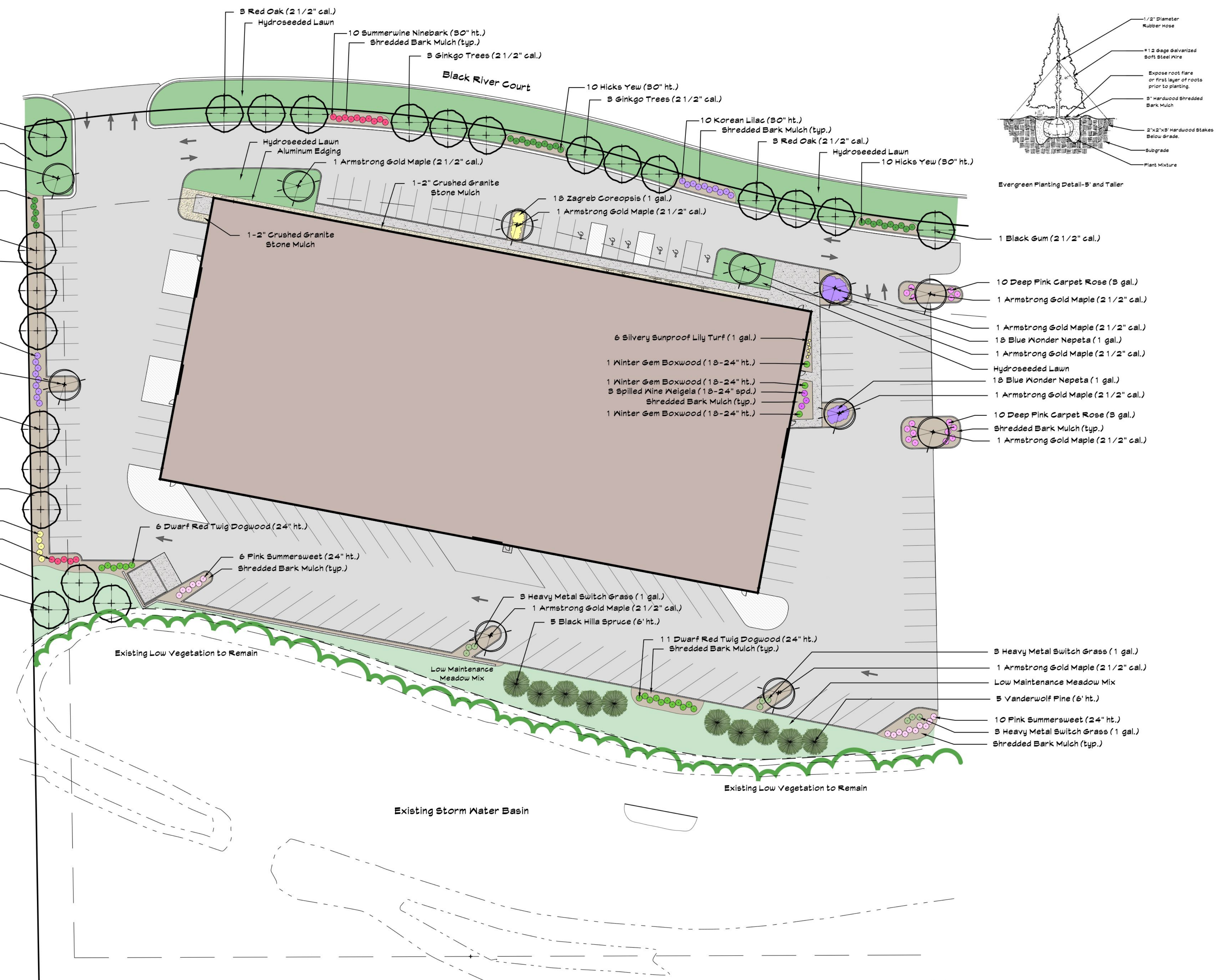
**South Property Line: 510 ln. ft./40 = 12.75**  
Required: 12.75 Canopy or Evergreen Trees and 38.25 Shrubs  
Provided: 3 Canopy Trees, 10 Evergreen Trees and 38 Shrubs



**Plant List**

Quantity	Common Name	Latin Name	Planted Size
5	Black Gum	<i>Nyssa sylvatica</i>	2 1/2" cal.
6	Redmond Linden	<i>Tilia americana 'Redmond'</i>	2 1/2" cal.
11	Armstrong Gold Maple	<i>Acer rubrum 'Armstrong Gold'</i>	2 1/2" cal.
6	Ginkgo Tree	<i>Ginkgo biloba</i>	2 1/2" cal.
6	Red Oak	<i>Quercus rubra</i>	2 1/2" cal.
5	Black Hills Spruce	<i>Picea glauca var. densata</i>	6' ht.
5	Vanderwolf Pine	<i>Pinus flexilis 'Vanderwolf'</i>	6' ht.
3	Winter Gem Boxwood	<i>Buxus mac. japonica 'Winter Gem'</i>	18-24" ht.
16	Pink Summersweet	<i>Clethra alnifolia 'Ruby Spice'</i>	24" ht.
17	Dwarf Red Twig Dogwood	<i>Cornus stolonifera 'Artic Fire'</i>	24" ht.
15	Summerwine Ninebark	<i>Physocarpus opulifoliosus 'Seaward'</i>	18-24" ht.
25	Hick's Yew	<i>Taxus 'Hicksii'</i>	30" ht.
19	Dwarf Korean Lilac	<i>Syringa meyeri 'Palbin'</i>	18-24" ht.
5	Show Off Forsythia	<i>Forsythia x intermedia 'Show Off'</i>	24" ht.
3	Spilled Wine Weigela	<i>Weigela florida 'Bokraspiwi'</i>	3 gal.
16	Deep Pink Carpet Rose	<i>Rosa 'Flower Carpet Deep Pink'</i>	3 gal.
9	Heavy Metal Switch Grass	<i>Panicum virgatum 'Heavy Metal'</i>	1 gal.
36	Blue Wonder Nepeta	<i>Nepeta x faassenii 'Blue Wonder'</i>	1 gal.
13	Zagreb Coreopsis	<i>Coreopsis verticillata 'Zagreb'</i>	1 gal.
6	Silvery Sunproof Lily Turf	<i>Liriope 'Silvery Sunproof'</i>	1 gal.

(note: Plant list for ordinance purposes only, the landscape contractor is responsible for plant quantities shown on the landscape plan)

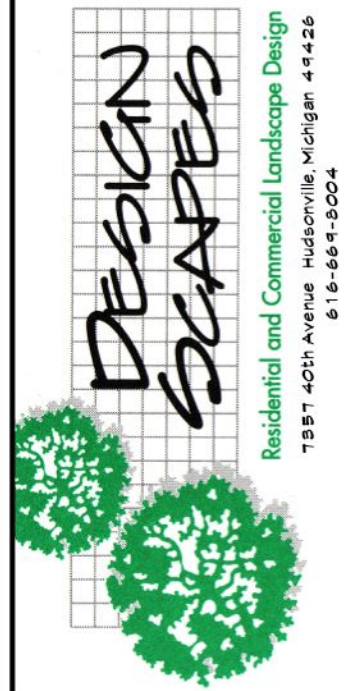


- Notes:**
- All landscaping shall be installed by a qualified Landscape Contractor. Plant sizes specified on the landscape plan shall be the size planted. Plants smaller than specified will be rejected. Substitutions of any kind must be approved by the Landscape Architect.
  - All plantings shall be mulched with 3\"/>



**Low Maintenance Meadow Mix**  
50% CHEWINGS FESCUE  
30% HARD FESCUE  
20% SHEEP FESCUE

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Landscape Plan Drawn By:  
Joyce E. Weise P.L.A., A.S.L.A.

**Mission Design**  
9696 Black River Court Holland Twp., Michigan

PROPOSED LANDSCAPE PLAN FOR:



PROJECT NUMBER:  
2310490.1B

DRAWN BY:  
Joyce E. Weise P.L.A., A.S.L.A.

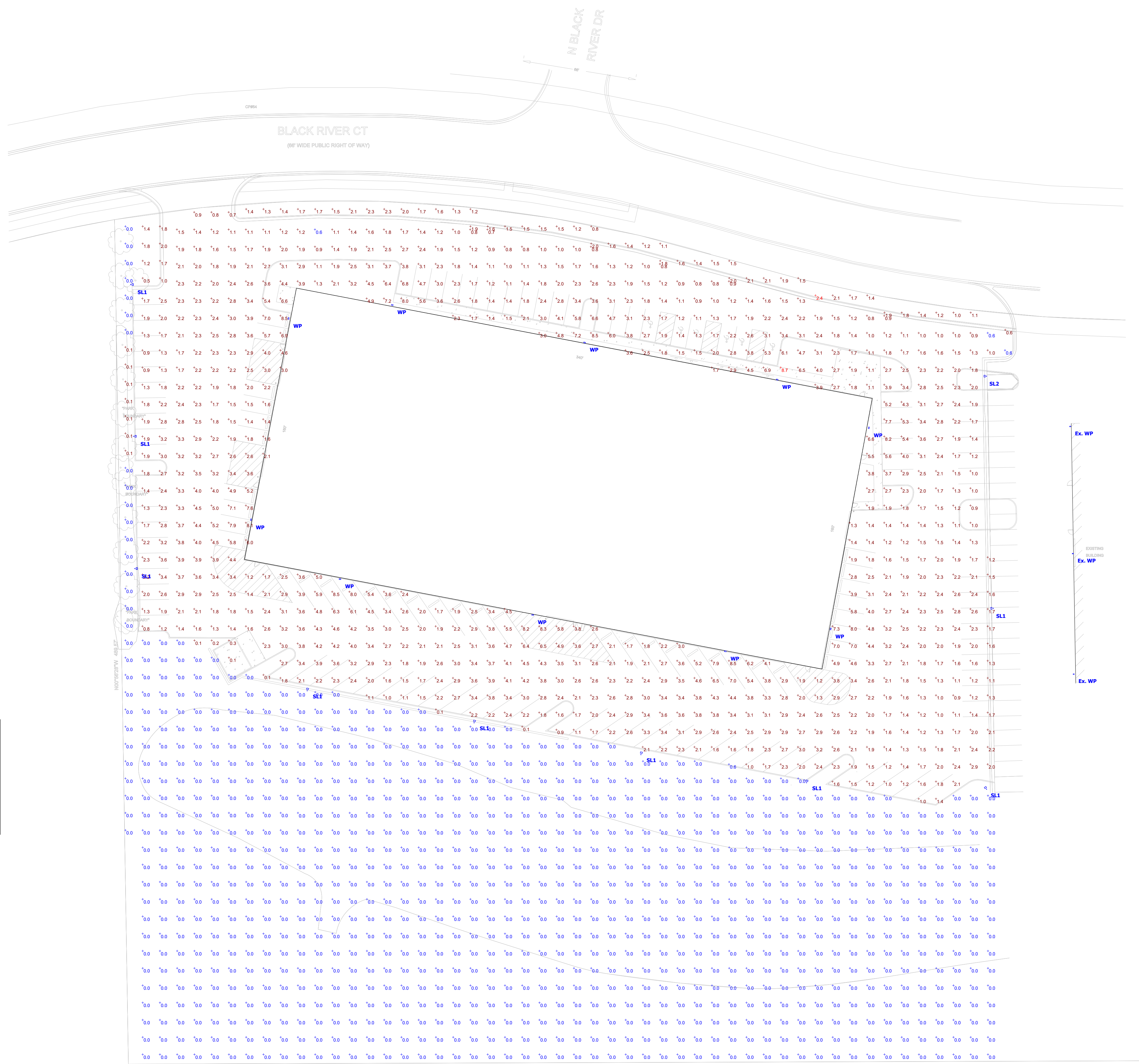
DRAWING DATE:  
050224

ISSUED FOR:  
05/07/24 Site Plan Approval

SCALE  
1"=30'

SHEET NUMBER  
L-1





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE	+	0.1 fc	2.4 fc	0.0 fc	N/A	N/A
Parking	+	2.6 fc	8.7 fc	0.6 fc	14.5:1	4.3:1

Schedule										
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Mounting Height
Ex. WP	Ex. WP	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	XTOR88-Y	CROSSTOUR WALL MOUNT LED	1	7746	1	81	22'
SL1	SL1	9	Lithonia Lighting	DSX0 LED P4 30K 80CRI BLC3	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 80 CRI Type 3 Extreme Backlight Control	1	7052	1	93.04	22.5'
SL2	SL2	1	Lithonia Lighting	DSX0 LED P2 30K 80CRI T3M	D-Series Size 0 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Type 3 Medium	1	5383	1	45.14	22.5'
WP	WP	10	Lithonia Lighting	WDGE4 LED P4 70CRI R4 30K	WDGE4 LED WITH P4 - PERFORMANCE PACKAGE, 3000K, 70CRI, TYPE 4 OPTIC	1	19045	1	146.89	22'

Plan View  
Scale - 1" = 30ft