



APPLICATION FOR SPECIAL USE APPROVAL

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · Fax: 616.396.2537

Applicant Information

Contact Name Lucas Ulberg
Address 3578 Maple Leaf Lane
Hamilton, MI 49419

Company Viking Construction Group
Phone (616) 379-0075
Fax / Email lulberg@vikingconstructiongroup.

Owner Information

Contact Name Tyce Holst
Address 62 S Waverly Rd
Holland, MI 49423

Company Holst Realty LLC
Phone (616) 392-8539
Fax / Email taylorholland@ameritech.net

Plan Preparer Information

Contact Name John M. Tenpas
Address 12330 James Street, Suite H80
Holland, MI 49424

Company Driesenga & Associates, Inc.
Phone (616) 396-0255
Fax / Email johnt@driesenga.com

Property Information

Address or Location James Street (Vacant), Holland, Michigan 49424
Parcel Number 70 - 16 - 28 - 298 - 021 Zoning District C-2 Community Commercial D
Present Use(s) Vacant

Description of Special Use (attach additional pages as needed): _____

Development will include 8 units for multi-tenant building, in one building totalling 24,542 sft.
Units will range from 1,996 sft to 3,425 sft and will include areas for shop, office, bathroom,
and mezzanine, and will also include 1-2 12' wide overhead doors

The undersigned does hereby request a public hearing before the Holland Charter Township Planning Commission for consideration of Special Use approval.

A hearing fee of \$350.00 shall be submitted with eleven (11) complete copies of: this form, the site plan review requirements list including a response to each item listed, and the site plan including an electronic copy of the site plan on CD or other file sharing device.

Site plans required for Special Use consideration **MUST** be submitted with this form. Applications submitted without the required site plans shall not be accepted. The copies must be submitted to the Zoning Administrator no later than four (4) weeks prior to the hearing date.

NOTE: You are required to be present at the hearing to present your application. You will be notified as to date and time. Your neighbors within 300 feet will also be notified concerning this hearing.

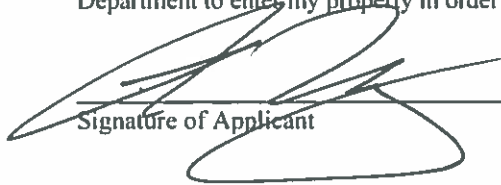
Property Owner's Certification

I, the undersigned owner of the above-described property, certify that I understand conditions and restrictions may be placed upon this special use approval as deemed necessary by the Holland Charter Township Planning Commission and hereby agree to conform to and abide by any and all such conditions and restrictions.

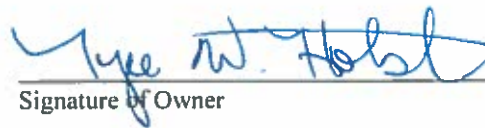
I, acknowledge there are Specific Special Land Use Approval Standards in addition to those outlined in Section 15.3 (below) that apply to the following uses and by selecting a use below further acknowledge they have reviewed the associated standards and have addressed each of them in this submittal:

- ☐ Special Use – Earth-sheltered Building
- ☐ Special Use – Mineral Extraction
- ☐ Special Use – Wireless Communications

I further agree to authorize members of the Planning Commission and representatives from the Holland Charter Township Building Department to enter my property in order to review the particulars of my request.


Signature of Applicant

4/15/25
Date


Signature of Owner

4/16/25
Date

Section 15.3 - General Standards of Approval. The Planning Commission shall review the particular circumstances and facts applicable to each proposed special land use with respect to the following standards:

1. The use is designed and constructed, and will be operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity; will be compatible with adjacent uses of land; and will not change the essential character of the area in which it is proposed.
2. The use is, or as a result of the special land use approval, will be served adequately by public services and facilities, including, but not limited to, streets, police and fire protection, drainage structures, refuse disposal, water and sewer facilities, and schools.
3. The use will not involve activities, processes, materials and equipment or conditions of operation that will be detrimental to any persons, property or the general welfare due to traffic, noise, smoke, fumes, glare, vibration, or odors.
4. The special land use will be consistent with the intent and purposes of this ordinance and the most recent updates to the Holland Charter Township Comprehensive Plan.
5. It will not be hazardous or disturbing to existing or future uses in the same general vicinity and in the community as a whole.
6. It will not create excessive additional requirements at public cost for infrastructure and will not be detrimental to the economic welfare of the community.
7. It will ensure that the environment shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal and topographic modifications, which result in maximum harmony with adjacent areas.
8. It shall conform with all specific requirements applicable to the proposed use, as applicable.
9. The use will not result in traffic congestion, nor have an adverse impact on roads, nor cause hazards.
10. There is need for the proposed use within the township.



PROJECT NARRATIVE

Parcel # 70-16-28-298-021

Site Address: Coolidge Avenue, Holland, MI 49423

April 15, 2025

D&A #2410277.1A

1. Project Overview

This project involves the development of a 1.61-acre commercial site located on the west side of Coolidge Avenue north of 8th Street, within Section 28 of Holland Charter Township, Ottawa County, Michigan. The project is being developed by Viking Construction Group and includes the construction of a new 19,580 SF commercial building (24,542 SF total with mezzanines), along with associated parking, utilities, stormwater management facilities, and landscaping.

2. Site Zoning & Use

The site is zoned C-2 (Community Commercial District) and the proposed use is consistent with the zoning ordinance and surrounding developments. The project meets all applicable zoning requirements including building height, setbacks, and lot coverage.

3. Parcel & Legal Description

Parcel Numbers: 70-16-28-298-021

4. Stormwater Management

Stormwater will be collected via a series of catch basin systems and routed to a proposed detention basin located on-site.

- Detention Volume Provided: 25,732 cu. ft.
- Required Volume (LGROW calc): 25,305 cu. ft.

Overflow is directed to a grassed swale system located south of the site. Design complies with Ottawa County Drain Commission standards.

5. Utility Services

- Water: 1.5" Type K copper service and 6" ductile iron fire line connected to existing public water main.
- Sanitary: 6" PVC lateral connecting to existing sanitary system; installed per Township standards.
- Storm Sewer: Full HDPE system integrated with catch basins and detention basin.

6. Site Access & Circulation

Access to the site will be provided via Coolidge Avenue, with dedicated driveways serving general circulation and fire truck turning radii accommodated. All access points comply with Ottawa County Road Commission ROW requirements.



7. Parking

- Required: 27 spaces (based on office & warehouse use)
- Provided: 27 spaces, including 3 ADA-compliant spaces

Parking layout complies with dimensional and landscaping requirements.

8. Landscaping

Landscaping complies with Article 11 zoning ordinance, including:

- Buffer trees/shrubs.
- Parking lot screening.
- Total of 17 canopy/ 8 evergreen trees and 96 shrubs provided.

9. Site Lighting

See attached a Photometric Plan.

10. Refuse Area

A screened dumpster enclosure is located at the southwest corner of the building. Enclosure includes concrete pad, privacy fencing, and swinging gates.

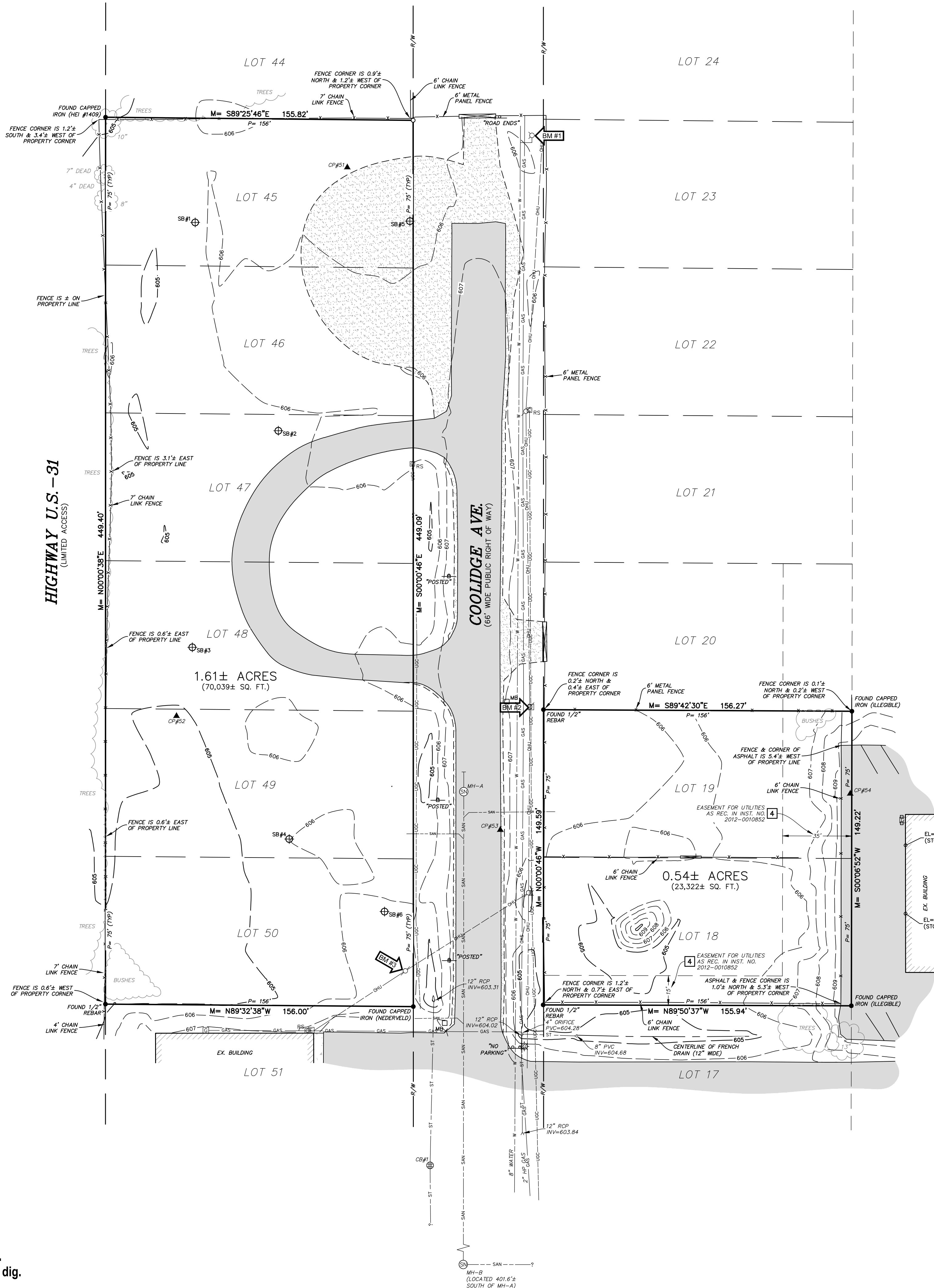
11. Construction Schedule

Construction is anticipated to begin in July 2025 and be completed in December 2025.

12. Environmental Considerations

- Wetlands: None identified on-site.
- Soils: See attached soil boring report.
- SESC Permit: Will be obtained per Ottawa County requirements.

TOPOGRAPHIC / BOUNDARY SURVEY



SCHEDULE "A" LEGAL DESCRIPTION
FROM: FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO. 4012-129744 (EFFECTIVE DATE: AUGUST 14, 2013)

PARCEL 1:

LOTS 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 45, 46, 47, 48, 49 AND 50, RIVERVIEW SUBDIVISION OF A PART OF LOT 5 VILLAGE OF CEDAR SWAMP, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 8 OF PLATS, PAGE 52; EXCEPT THAT PART OF LOTS 26, 27, AND 28 LYING NORTHWESTERLY OF A LINE BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 26; THENCE NORTHEASTERLY TO THE NORTHEAST CORNER OF SAID LOT 28.

SCHEDULE "B-II" PART TWO: SPECIFIC EXCEPTIONS
FROM: FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO. 4012-129744 (EFFECTIVE DATE: AUGUST 14, 2013)

- INTEREST OF JOHN GRONBERG, AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 782, PAGE 551, LIBER 861, PAGE 674, AND LIBER 937, PAGE 22. (NO EASEMENT TO DEPICT)
- EASEMENT FOR PUBLIC UTILITIES OVER THAT PORTION OF LAND INCLUDED IN THE ABANDONED COOLIDGE AVENUE AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 22 OF MISCELLANEOUS RECORDS, PAGE 98. (NO SUPPORTING DOCUMENTATION RECEIVED OR REVIEWED)
- HIGHWAY U.S. 31 IS A LIMITED ACCESS HIGHWAY AS DISCLOSED BY INSTRUMENTS RECORDED IN LIBER 466, PAGE 250 AND LIBER 469, PAGE 393. (NO SUPPORTING DOCUMENTATION RECEIVED OR REVIEWED)
- TERMS AND CONDITIONS CONTAINED IN GRANT OF EASEMENT FOR UTILITIES AS DISCLOSED BY INSTRUMENT RECORDED IN INSTRUMENT NO. 2012-0010852. (SHOWN ON DRAWING)

NOTE: BOUNDARY SURVEY PERFORMED ON LOTS 18-19 AND 45-50 ONLY OF PARCEL 1 AS PART OF THIS PROJECT. PARCEL 2 WAS NOT INCLUDED.

BENCHMARK DATA

NAVD '88 BASED ON PREVIOUS DRIESENKA & ASSOCIATES, INC. TOPOGRAPHIC / PARTIAL BOUNDARY SURVEY, JOB NO. 1610351.5A, DATED 05-24-2016.

BM #1 EL= 607.82' (NAVD '88 DATUM)
SOUTHEAST UPPER FLANGE BOLT UNDER THE 'E' IN 'EJIW' ON HYDRANT, LOCATED ON THE EAST SIDE OF COOLIDGE AVENUE, 21'± SOUTHEAST OF THE GATE ENTRANCE ON THE NORTH END OF COOLIDGE AVE.

BM #2 EL= 607.33' (NAVD '88 DATUM)
TOP OF HEAD OF RAILROAD SPIKE IN SOUTHWEST FACE OF UTILITY POLE, LOCATED 26'± EAST OF CENTERLINE OF COOLIDGE AVE., AND 7'± WEST OF NORTHWEST CORNER OF LOT 19.

BM #3 EL= 607.88' (NAVD '88 DATUM)
TOP OF RAILROAD SPIKE IN NORTH FACE OF POWER POLE, LOCATED NEAR THE SOUTH ENTRANCE TO SITE, 18'± NORTHWESTERLY OF THE SOUTHEAST PROPERTY CORNER OF LOT 50, AND 38'± WEST OF THE CENTERLINE OF COOLIDGE AVE.

SURVEY CONTROL

POINT NUMBER	NORTHING (ASSUMED)	EASTING (ASSUMED)	ELEVATION (NAVD '88)
51	5402.1498'	4943.2662'	605.82'
52	5124.1407'	4856.7303'	604.74'
53	5066.4862'	5020.8037'	607.49'
54	5084.8087'	5198.1053'	609.28'

STORM STRUCTURE DATA

CB #1 - 4'Ø CONCRETE BLOCK
RIM = 605.99
INV (N) 12" RCP=603.29
INV (S) 15" RCP=603.14
SUMP=601.49

SANITARY STRUCTURE DATA

MH-A - 4'Ø CONCRETE
RIM = 607.61
INV (N) 12" RCP=597.84
INV (S) 8" PVC=597.49

MH-B - 4'Ø CONCRETE
RIM = 607.72
INV (N) 8" PVC=595.86
INV (E) 8" PVC=595.70
INV (S) 8" PVC=595.77

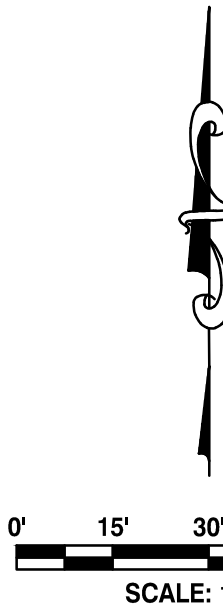
MISS DIG INFORMATION

MISS DIG SURVEY TICKET # 2024041703294 REV: 000
(INCLUDES INFORMATION RECEIVED THROUGH 05-07-2024)

- CHARTER COMMUNICATIONS / SPECTRUM - 04/17/2024 (CLEAR)
- SEMCO ENERGY - 04/18/2024 (MAPS RECEIVED)
- CCI SYSTEMS - 04/19/2024 (MAPS RECEIVED - CLEAR)
- HOLLAND BOARD OF PUBLIC WORKS - 04/23/2024 (MAPS RECEIVED)
- AT&T - 04/25/2024 (MAPS RECEIVED)

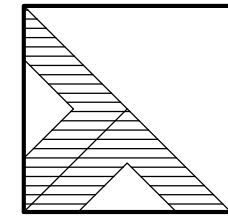
SURVEYOR'S NOTES

- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL FIELD MEASUREMENTS AND AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG - CALL MISS DIG AT 811.
- CONTOUR INTERVAL = 1 FOOT.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" (NO SCREEN) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 26139C0312E, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 18, 2011. ZONE "X" (NO SCREEN) AREAS DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN.
- THE FIELD WORK WAS COMPLETED ON APRIL 24, 2024.



LEGEND

BENCHMARK	EXISTING
SET CAPPED REBAR #62895	BM #1
FOUND IRON	●
CONTROL POINT	▲
PLATTED	P=
MEASURED	M=
CATCH BASIN	⊕
SANITARY SEWER MANHOLE	⊕
FIRE HYDRANT	⊕
GAS METER	⊕
UTILITY RISER	⊕
UTILITY POLE	⊕
ELECTRIC METER	⊕
SIGN	⊕
SOIL BORING	⊕
POST	⊕
MAIL BOX	⊕
UNDERGROUND GAS LINE MARKER	⊕
GATE	⊕
FENCE LINE	— X —
OVERHEAD UTILITIES	— CHU —
UNDERGROUND ELECTRIC	— UGE —
COMMUNICATIONS	— UGC —
TELEPHONE	— TEL —
FIBER OPTIC	— FO —
GAS LINE	— GAS —
EXISTING WATER LINE	— W —
EXISTING STORM SEWER	— ST —
EXISTING SANITARY SEWER	— SAN —
BITUMINOUS SURFACE	⬤
CONCRETE SURFACE	⬤
GRAVEL SURFACE	⬤
CONIFEROUS TREE	⬤
DECIDUOUS TREE	⬤
ORNAMENTAL BUSH	⬤



DRIESENKA &
ASSOCIATES, INC.

Engineering
Surveying
Testing

www.driesenga.com

Holland, MI

616-396-0255

Grand Rapids, MI

616-249-3800

Kalamazoo, MI

269-544-1455

Lansing, MI

517-977-1019

Ypsilanti, MI

734-368-9483

COOLIDGE AVENUE
69 COOLIDGE AVENUE, HOLLAND, MI 49423
SECTION 28, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.
-FOR-
VIKING CONSTRUCTION GROUP
3578 MAPLE LEAF LANE, HAMILTON, MI 49419

REVISIONS

NO.	DESCRIPTION
1	

Drawn By: GLK

Scale: 1"=30'

Date: 05-07-2024

Project # 2410277.5A

Sheet Title:

TOPOGRAPHIC
/ BOUNDARY
SURVEY

Sheet #

V-101
1 of 1

Tax Parcel No.: 70-16-28-298-021 & Part of 70-16-28-299-046



Marc Elwood Lohela II
P.S. No. 4001062695

THE DESCRIPTION WAS GIVEN TO US BY THE PERSON CERTIFIED TO, OR WAS PREPARED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY THE PERSON CERTIFIED TO, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS.



Know what's below.
Call before you dig.

3 of 8



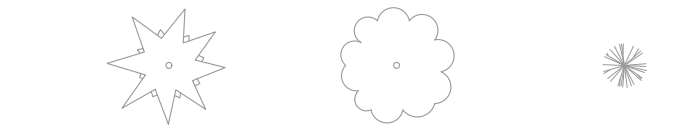
PROJECT SUMMARY

- KEY NOTES:

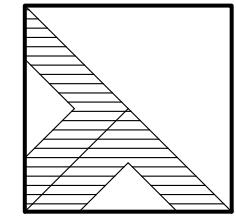
GENERAL NOTES:

LAYOUT NOTES:

LEGEND



ISSUED FOR
APPROVAL



COULIDGE AVENUE
COULIDGE AVENUE, HOLLAND, MI. 49423
SECTION 28, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.
-FOR-
VIKING CONSTRUCTION GROUP
3578 MAPLE LEAF LANE, HAMILTON, MI 49419

ISSUED FOR:
ISSUED FOR REVIEW
04-14-2025 D: AA C: JMT

Project Manager:
JOHN TENPAS

Object #
2410277.1A

Sheet Title:

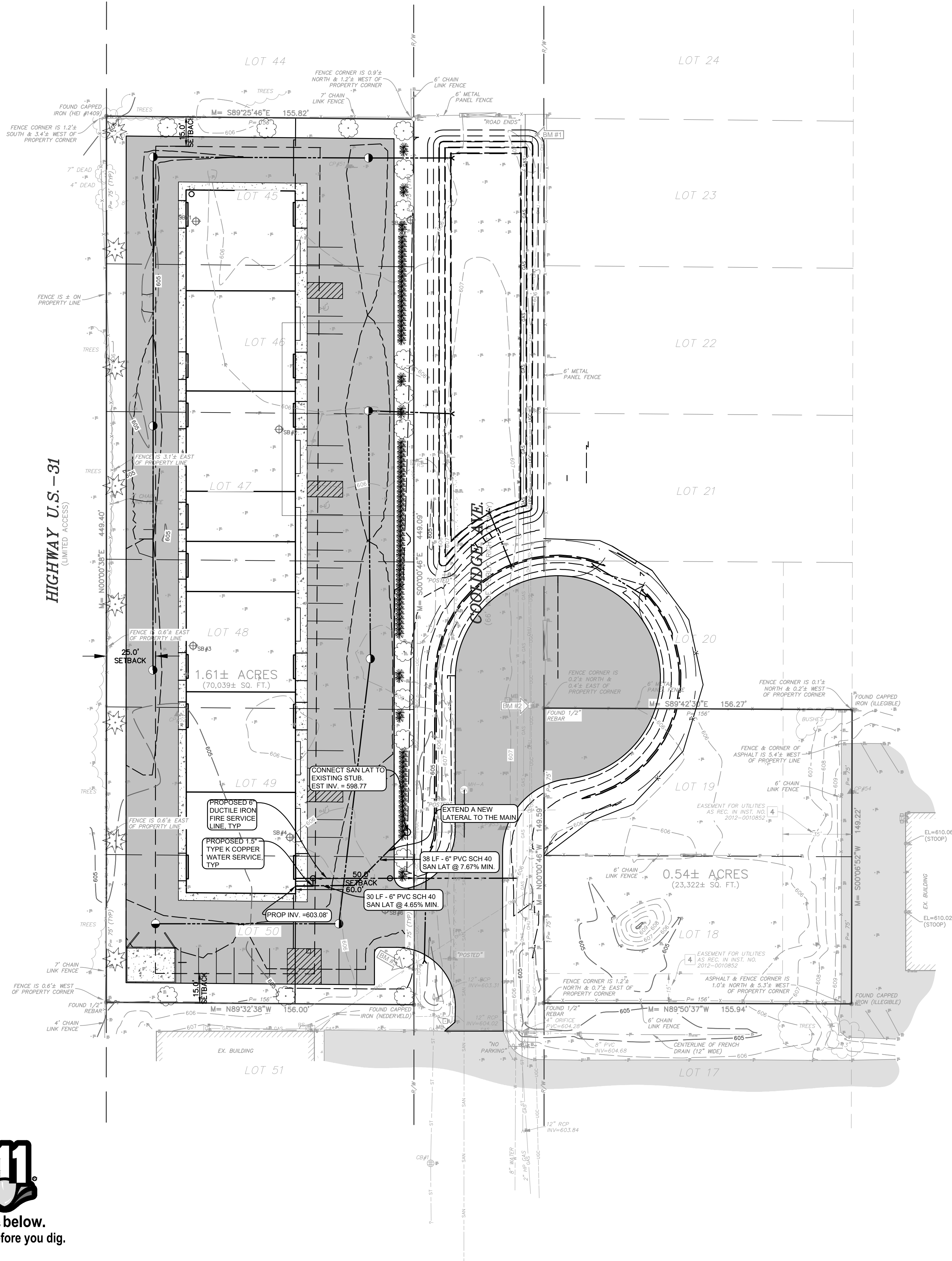
SITE PLAN

Sheet #

C-101
4 of 8



Know what's below.
Call before you dig.



UTILITY NOTES:

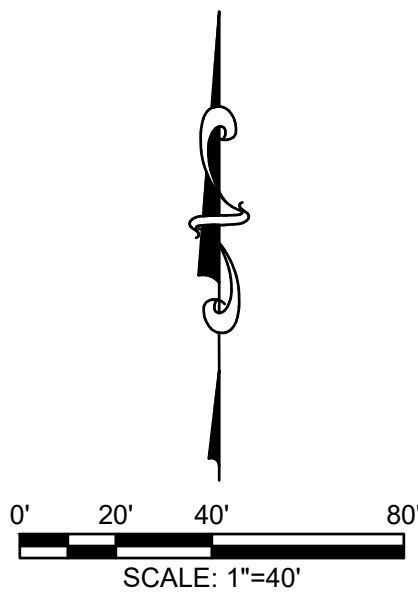
1. CONTRACTOR SHALL OBTAIN CONNECTION PERMIT PRIOR TO INSTALLATION OF ANY PRIVATE WATER, SANITARY, OR STORM CONNECTIONS TO PUBLIC MAIN.
2. CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED FOR ANY PROPOSED PUBLIC WATER MAIN, SANITARY SEWER, OR STORM SEWER. CONTRACTOR SHALL COORDINATE WITH MUNICIPALITY PRIOR TO CONSTRUCTION TO SCHEDULE PRE-CONSTRUCTION MEETING AND TO ENSURE COMPLIANCE WITH INSPECTION/TESTING REQUIREMENTS.
3. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
4. ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL DOCUMENT, AND FURNISH TO OWNER AND ENGINEER, WITNESS DIMENSIONS FOR ALL UTILITY STUBS AND CONDUITS INSTALLED.
6. ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF AGGREGATE BASE.

LEGEND

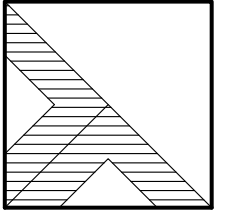
- XXXXXX FINISH GRADE ELEVATION
- MG XXXX.XX MATCH EXISTING GRADE ELEVATION
- TO XXXX.XX FL XXXX.XX FINISH GRADE ELEVATION AT FLOW LINE
- TW XXXX.XX FINISH GRADE ELEVATION AT TOP OF WALL
- BW XXXX.XX FINISH GRADE ELEVATION AT BOTTOM OF WALL AT GROUND
- PROPOSED SWALE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- 627.00 MINIMUM OPENING ELEV. (M.O.E.)
- 623.60 MINIMUM BASEMENT ELEV. (M.B.E.)

LEGEND

- BENCHMARK
- STORM SEWER MANHOLE
- CATCH BASIN
- FLARED END SECTION
- SANITARY SEWER MANHOLE
- CLEANOUT
- WELL HEAD
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SPRINKLER CONTROL VALVE
- SPRINKLER HEAD
- VALVE (WATER & GAS)
- GAS METER
- UTILITY RISERS
- UTILITY POLE
- LIGHT POLE
- GUY ANCHOR
- TRANSFORMER
- HAND HOLE (ELECTRIC)
- ELECTRIC METER
- GROUND MOUNTED LIGHT
- SIGN
- SOIL BORING
- BOLLARD POST
- POST
- GATE
- FENCE LINE
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC COMMUNICATIONS
- TELEPHONE
- FIBER OPTIC
- GAS LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING BITUMINOUS SURFACE
- EXISTING CONCRETE SURFACE
- EXISTING GRAVEL SURFACE
- PROPOSED BITUMINOUS SURFACE
- PROPOSED CONCRETE SURFACE
- PROPOSED GRAVEL SURFACE
- CONIFEROUS TREE
- DECIDUOUS TREE
- ORNAMENTAL BUSH



ISSUED FOR
APPROVAL



**DRIESENGA &
ASSOCIATES, INC.**

**Engineering
Surveying
Testing**

www.driesenga.com

Holland, MI
616-396-0255
Grand Rapids, MI
616-249-3800
Kalamazoo, MI
269-544-1455
Lansing, MI
517-889-6210
Ypsilanti, MI
734-368-9483

COOLIDGE AVENUE
COOLIDGE AVENUE, HOLLAND, MI, 49423
SECTION 28, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.
**-FOR-
CONSTRUCTION GROUP**
3578 MAPLE LEAF LANE, HAMILTON, MI 49419

ISSUED FOR:

1 ISSUED FOR REVIEW
04-14-2025 D: AA C: JMT

Project Manager:
JOHN TENPAS

Project #
2410277.1A

Sheet Title:

**UTILITY
PLAN**

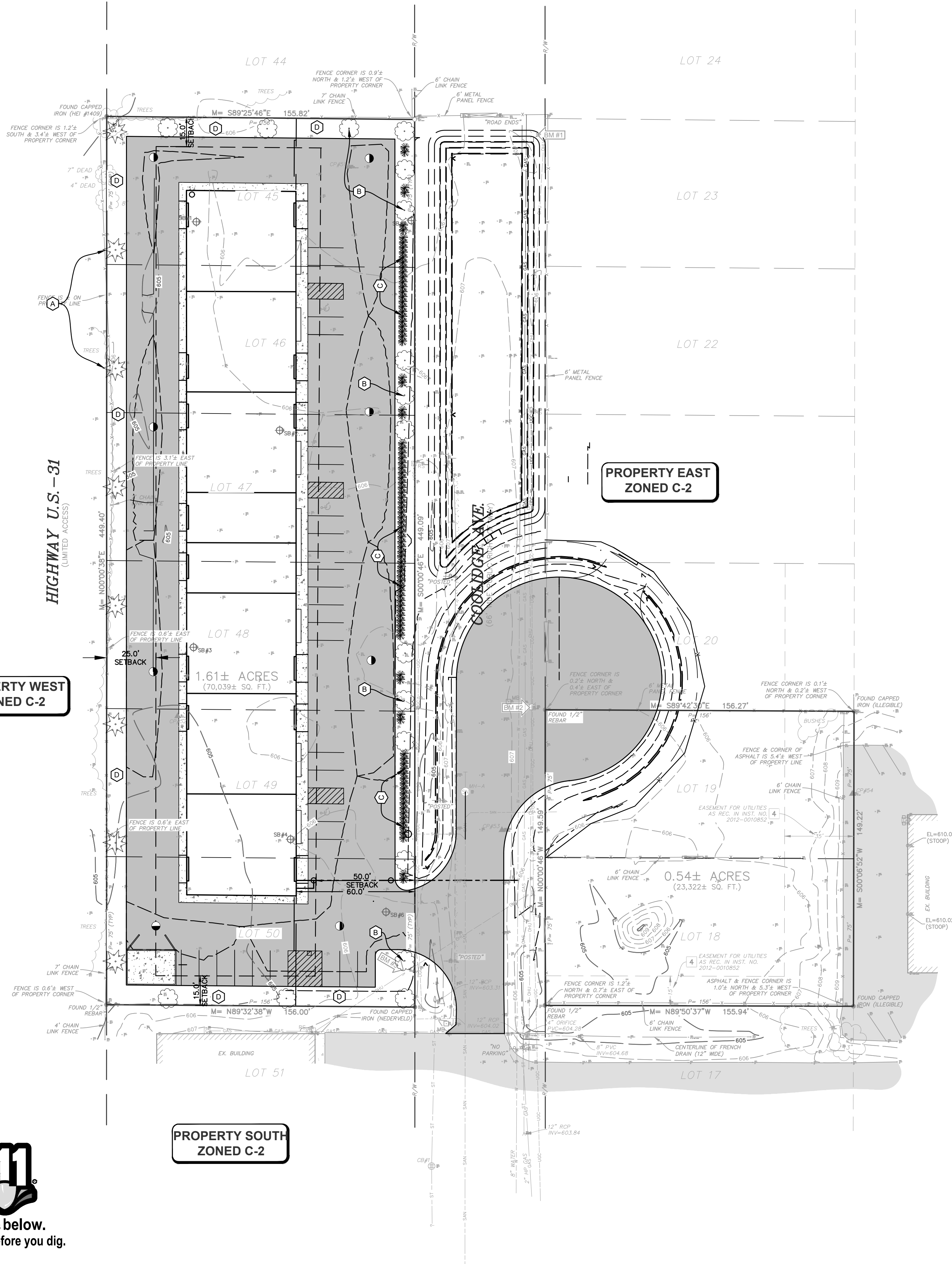
Sheet #

C-103
6 of 8



Know what's below.
Call before you dig.

PROPERTY WEST
ZONED C-2



PROPERTY SOUTH
ZONED C-2

PROPERTY EAST
ZONED C-2

LANDSCAPING SUMMARY: LANDSCAPING PER HCT. ARTICLE 11

A. FRONT YARD LANDSCAPING

	REQUIRED	PROVIDED
1. (450 FEET SECTION OF EAST PROP. LINE, AREA DISTURBED) 1 CANOPY OR EVERGREEN TREE PER 40 LFT = 450/40 =	11	11
AREA WHERE PARKING LOT SCREENING IS NOT REQUIRED (261 LFT): 3 SHRUBS PER 40 LFT = (261/40)*3 =	20	20

B. BUFFERS

BUFFER BETWEEN COMMERCIAL-IMPROVED AND COMMERCIAL-IMPROVED

-TYPE D

-10 FEET WIDE

-NO SCREEN REQUIRED

	REQUIRED	PROVIDED
1. (450 FEET SECTION OF WEST PROP. LINE) 1 CANOPY OR EVERGREEN TREE PER 60 LFT = 450/60 =	8	8
2. (156 FEET SECTION OF SOUTH PROP. LINE) 1 CANOPY OR EVERGREEN TREE PER 60 LFT = 156/60 =	3	3

C. PARKING LOT LANDSCAPING

1. SCREENING:

189 LFT OF PARKING ADJACENT TO ROW

1 SHRUB/2.5LFT = 76 SHRUBS

PROVIDED = 76 SHRUBS

2. PARKING LOT CANOPY TREES:

27 TOTAL PARKING SPACES

1 TREE AND 100 SFT OF LANDSCAPED AREA PER 12 SPACES = 2 TREES + 200 SFT OF LANDSCAPED AREA

PROVIDED = 2 TREES + 3,650 SFT OF LANDSCAPED AREA

LANDSCAPING KEY:

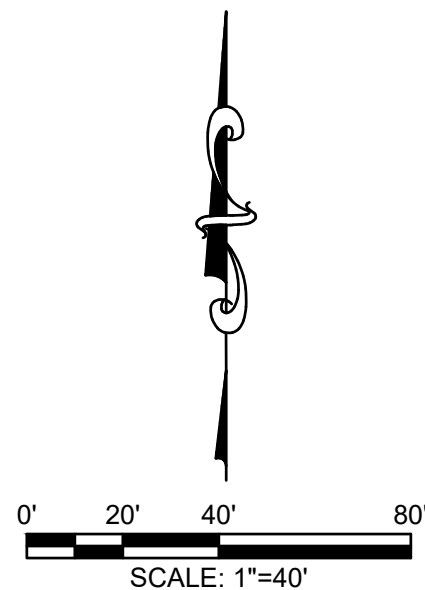
- (A) WHITE SPRUCE, PICEA GLAUCA, 6' HT (4 EA)
- (B) CRIMSON KING MAPLE, ACER PLATENOIDES 'CRIMSON KING', 2 1/2" CAL (2 EA)
- (C) GREEN VELVET BOXWOOD, BUXUS 'GREEN VELVET', 24" HT (26 EA @ 2.5' O.C.)
- (D) LAWN AREA PER LANDSCAPING NOTES

LANDSCAPING NOTES:

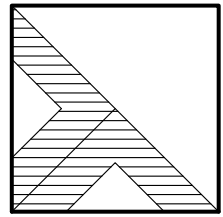
- 1.) CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY, STATE, AND LOCAL STANDARDS AND CODES.
- 2.) CALL "MISS DIG", 1-800-482-7171, 72 HOURS PRIOR TO THE START OF ANY DIGGING.
- 3.) LANDSCAPE CONTRACTOR SHALL ENSURE PROPER WATERING OF PLANTED AND SEEDING AREAS AFTER INSTALLATION. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR TO MINIMIZE CONFLICTS WITH SPRINKLER HEADS AND LINES. LANDSCAPE CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE TO MINIMIZE REDO OF COMPLETED LANDSCAPE WORK, AND DAMAGE TO PLANT MATERIAL.
- 4.) ALL GRADING, UTILITY, AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.
- 5.) CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN LAYOUT WORK.
- 6.) EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN DIGGING SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY TRENCHING AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- 7.) IF ANY DISCREPANCY EXISTS BETWEEN THE QUANTITIES, SIZES OR MATERIALS INDICATED ON THE PLAN AND SHOWN IN THE PLANT LIST, THE PLAN SHALL GOVERN.
- 8.) IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID SUBMITTAL, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
- 9.) THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
- 10.) THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING AND RE-SPREADING TOPSOIL IN ALL TURF AND LANDSCAPE AREAS.
- 11.) PRIOR TO SPREADING THE TOPSOIL, THE LANDSCAPE CONTRACTOR SHALL INSPECT AND ACCEPT ALL BASE GRADES. ANY DEVIATION FROM LINE AND GRADE INDICATED ON THE GRADING PLAN SHALL BE CORRECTED BEFORE PLACING ANY TOPSOIL.
- 12.) CONTRACTOR SHALL NOTIFY ENGINEER IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- 13.) ALL SHRUB BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, UNLESS METAL EDGE BORDER IS SPECIFIED.
- 14.) ALL SHRUB BED AREAS SHALL HAVE A MINIMUM 3" LAYER OF LANDSCAPE MULCH.
- 15.) PRE-EMERGENT HERBICIDE SHALL BE USED UNDER MULCH IN ALL LARGE BED AREAS.
- 16.) CONTRACTOR SHALL SEED ALL AREAS DISTURBED BY CONSTRUCTION NOT DESIGNATED TO BE SODDING.
- 17.) LANDSCAPE CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
- 18.) SEED LAWN AREAS WITH COMMON SUNNY MIX GRASS SEED
40% GNOME KENTUCKY BLUEGRASS
20% PERNILLE OR BOREAL KENTUCKY BLUEGRASS
20% CREEPER CREEPING RED FESCUE
20% PERENNIAL RYEGRASS
SEED AT A RATE OF 5 LBS. PER 1,000 SFT.

LEGEND

EXISTING	PROPOSED
BENCHMARK	BENCHMARK
STORM SEWER MANHOLE	STORM SEWER MANHOLE
CATCH BASIN	CATCH BASIN
FLARED END SECTION	FLARED END SECTION
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
CLEANOUT	CLEANOUT
WELL HEAD	WELL HEAD
FIRE HYDRANT	FIRE HYDRANT
FIRE DEPARTMENT CONNECTION	FIRE DEPARTMENT CONNECTION
SPRINKLER CONTROL VALVE	SPRINKLER CONTROL VALVE
SPRINKLER HEAD	SPRINKLER HEAD
VALVE (WATER & GAS)	VALVE (WATER & GAS)
GAS METER	GAS METER
UTILITY RISERS	UTILITY RISERS
UTILITY POLE	UTILITY POLE
LIGHT POLE	LIGHT POLE
GUY ANCHOR	GUY ANCHOR
TRANSFORMER	TRANSFORMER
HAND HOLE (ELECTRIC)	HAND HOLE (ELECTRIC)
ELECTRIC METER	ELECTRIC METER
GROUND MOUNTED LIGHT	GROUND MOUNTED LIGHT
SIGN	SIGN
SOIL BORING	SOIL BORING
BOLLARD POST	BOLLARD POST
POST	POST
GATE	GATE
FENCE LINE	FENCE LINE
OVERHEAD UTILITIES	OVERHEAD UTILITIES
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
COMMUNICATIONS	COMMUNICATIONS
TELEPHONE	TELEPHONE
FIBER OPTIC	FIBER OPTIC
GAS LINE	GAS LINE
EXISTING WATER LINE	EXISTING WATER LINE
PROPOSED WATER LINE	PROPOSED WATER LINE
EXISTING STORM SEWER	EXISTING STORM SEWER
PROPOSED STORM SEWER	PROPOSED STORM SEWER
EXISTING SANITARY SEWER	EXISTING SANITARY SEWER
PROPOSED SANITARY SEWER	PROPOSED SANITARY SEWER
BITUMINOUS SURFACE	BITUMINOUS SURFACE
CONCRETE SURFACE	CONCRETE SURFACE
GRAVEL SURFACE	GRAVEL SURFACE
PROPOSED BITUMINOUS SURFACE	PROPOSED BITUMINOUS SURFACE
PROPOSED CONCRETE SURFACE	PROPOSED CONCRETE SURFACE
CONIFEROUS TREE	CONIFEROUS TREE
DECIDUOUS TREE	DECIDUOUS TREE
ORNAMENTAL BUSH	ORNAMENTAL BUSH



ISSUED FOR
APPROVAL



DRIESEN &
ASSOCIATES, INC.

Engineering
Surveying
Testing

www.driesenga.com

Holland, MI

616-396-0255

Grand Rapids, MI

616-249-3800

Kalamazoo, MI

269-544-1455

Lansing, MI

517-889-6210

Ypsilanti, MI

734-368-9483

COOLIDGE AVENUE
COOLIDGE AVENUE, HOLLAND, MI, 49423
SECTION 28, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.
-FOR-
VIKING CONSTRUCTION GROUP
3578 MAPLE LEAF LANE, HAMILTON, MI 49419

ISSUED FOR:

1 ISSUED FOR REVIEW

04-14-2025 D: AA C: JMT

Project Manager:

JOHN TENPAS

Project #

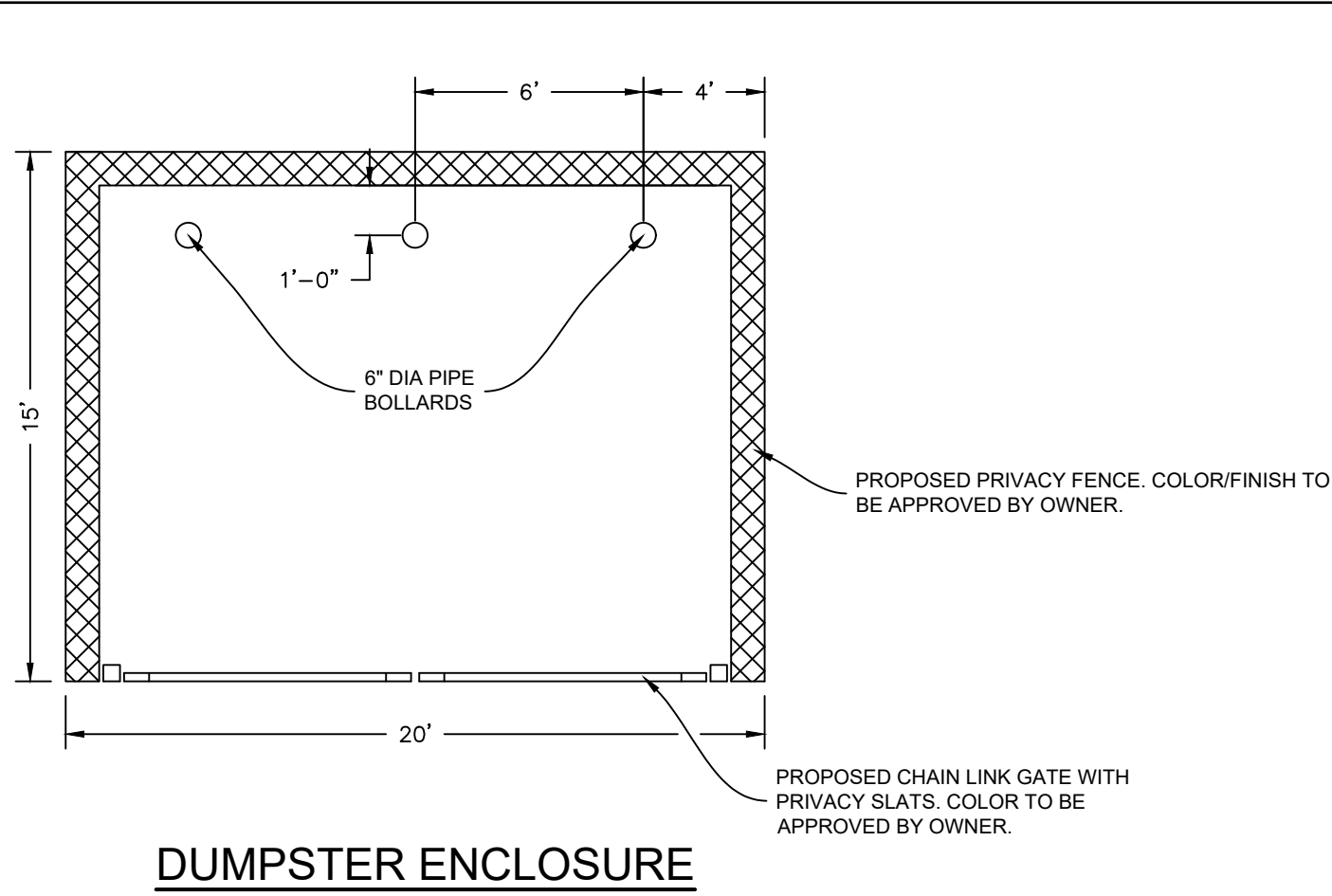
2410277.1A

Sheet Title:

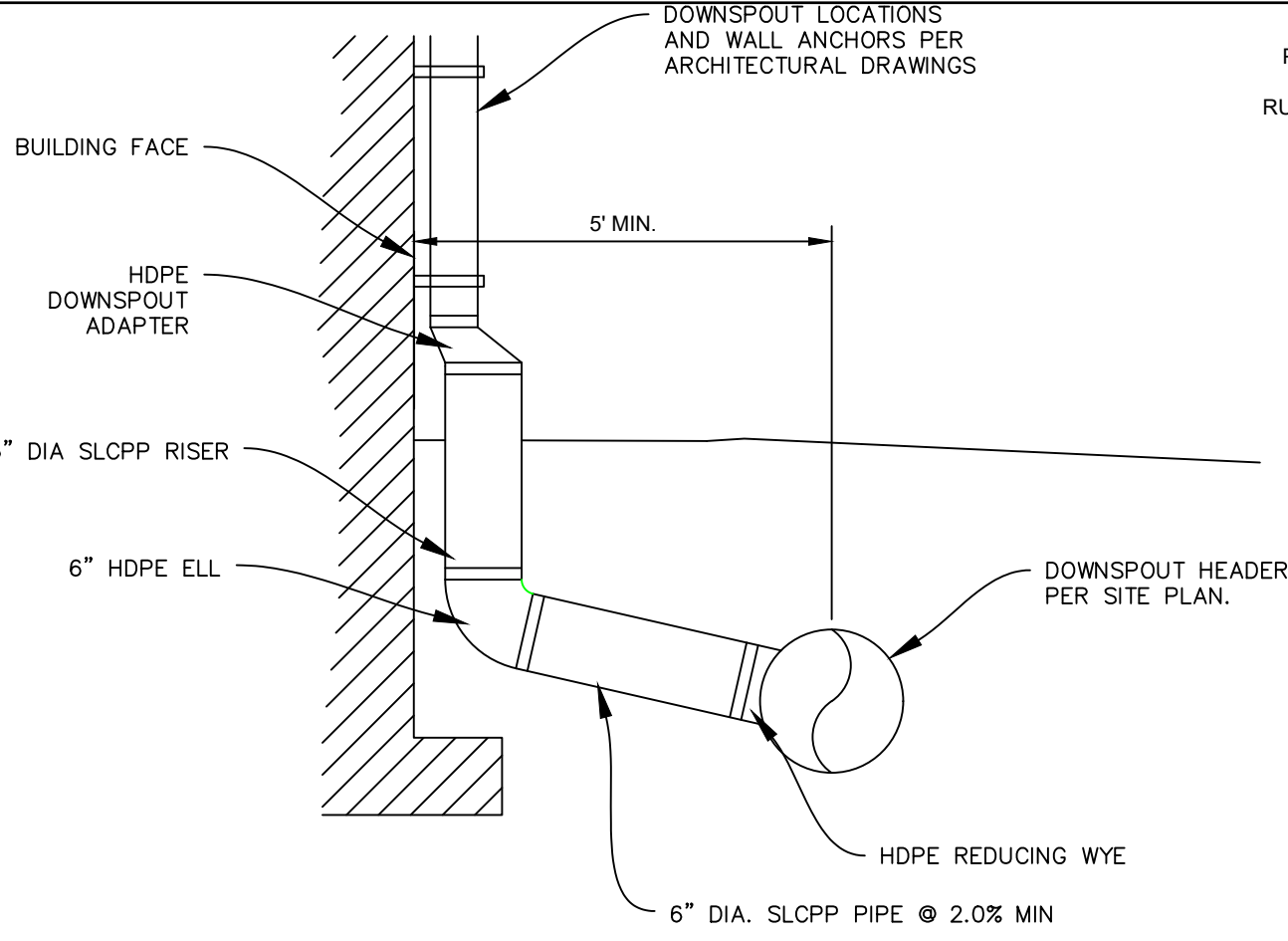
LANDSCAPE
PLAN

Sheet #

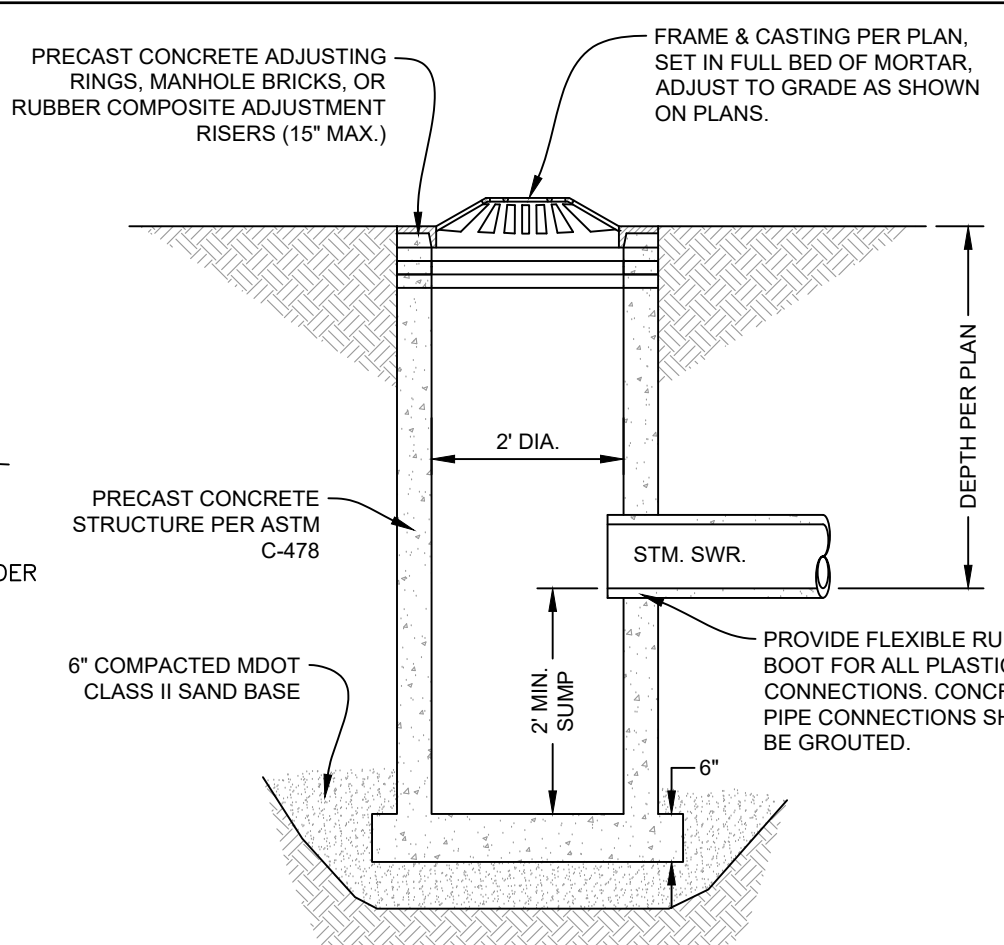
L-101
7 of 8



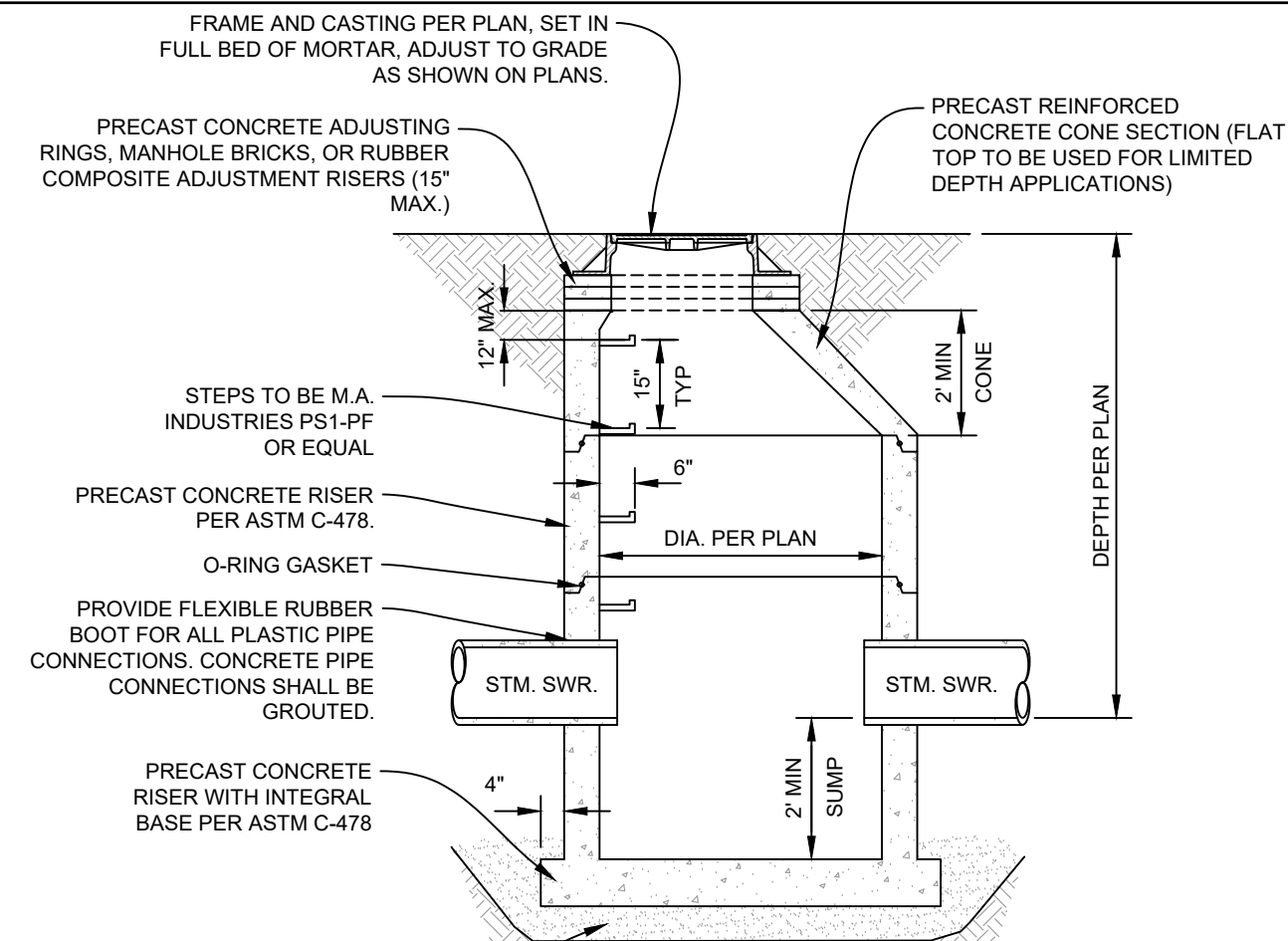
DUMPSTER ENCLOSURE



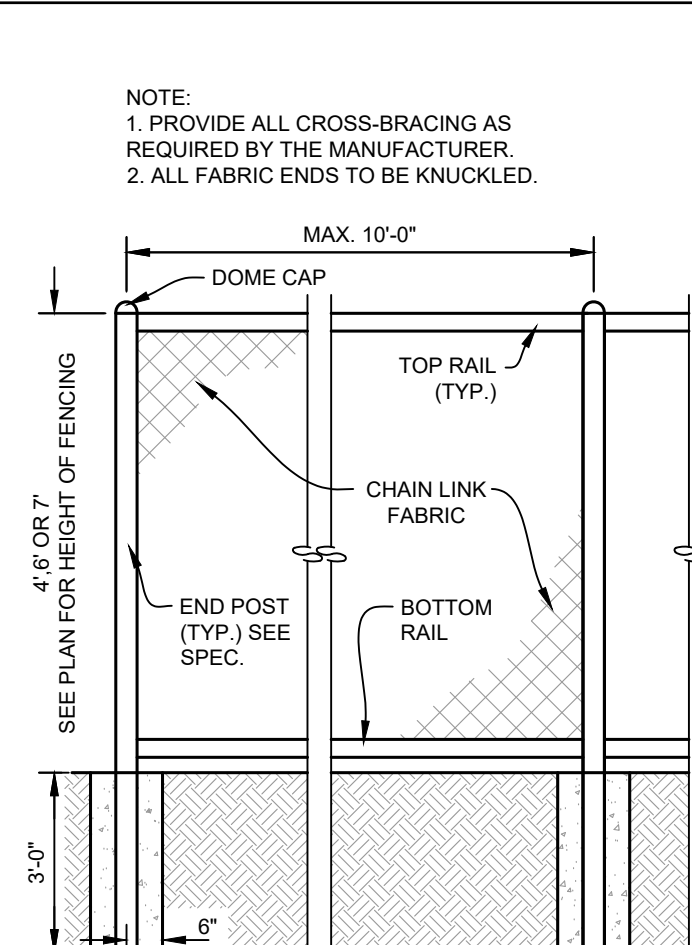
EXTERIOR DOWNSPOUT CONNECTION



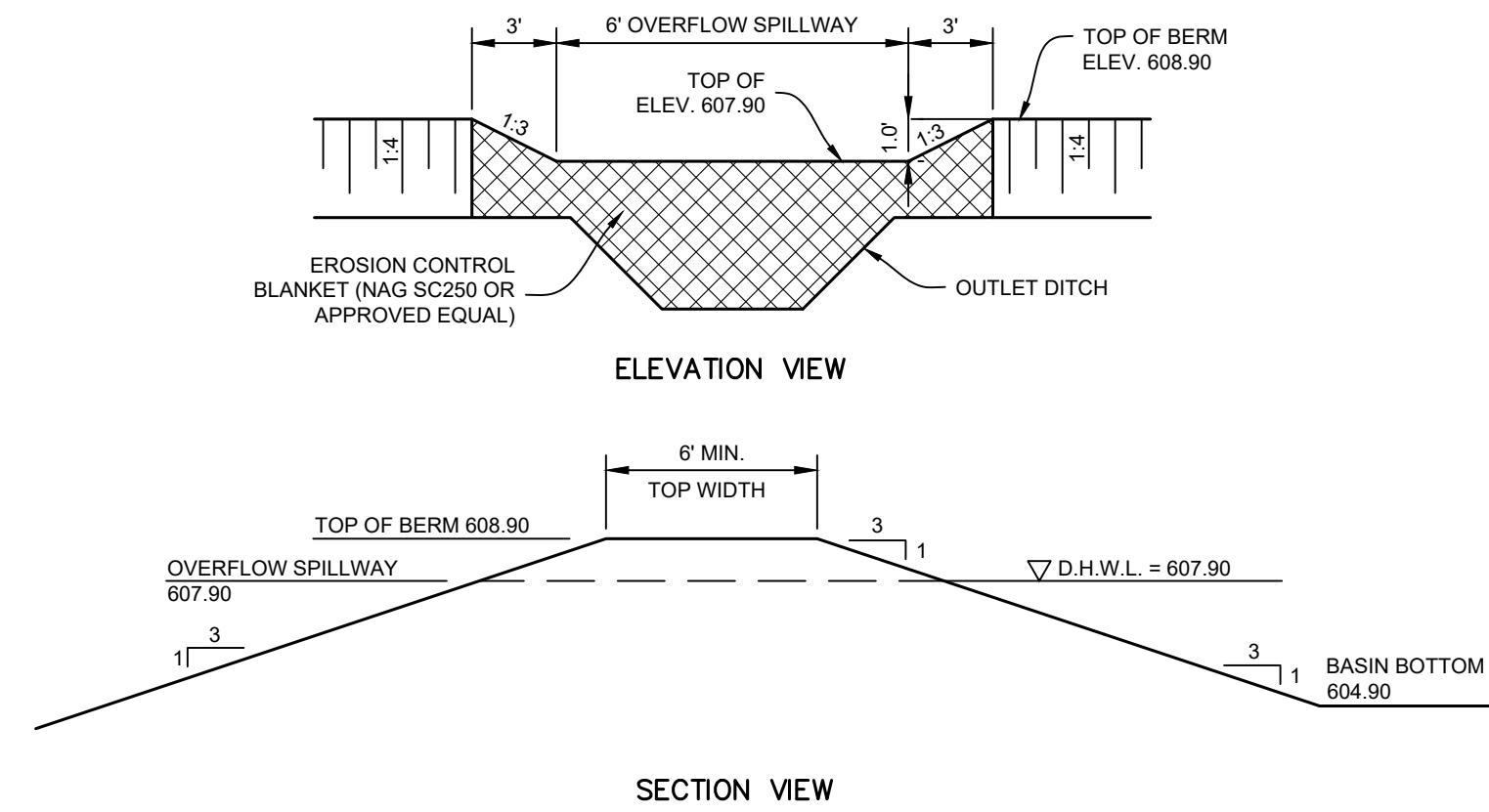
24" CATCH BASIN



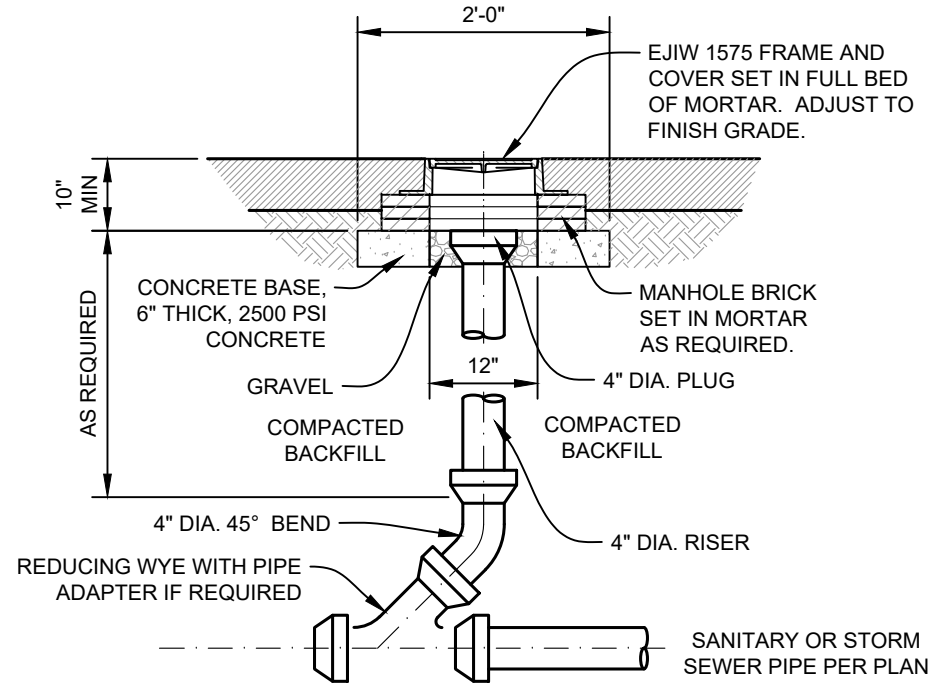
CATCH BASIN



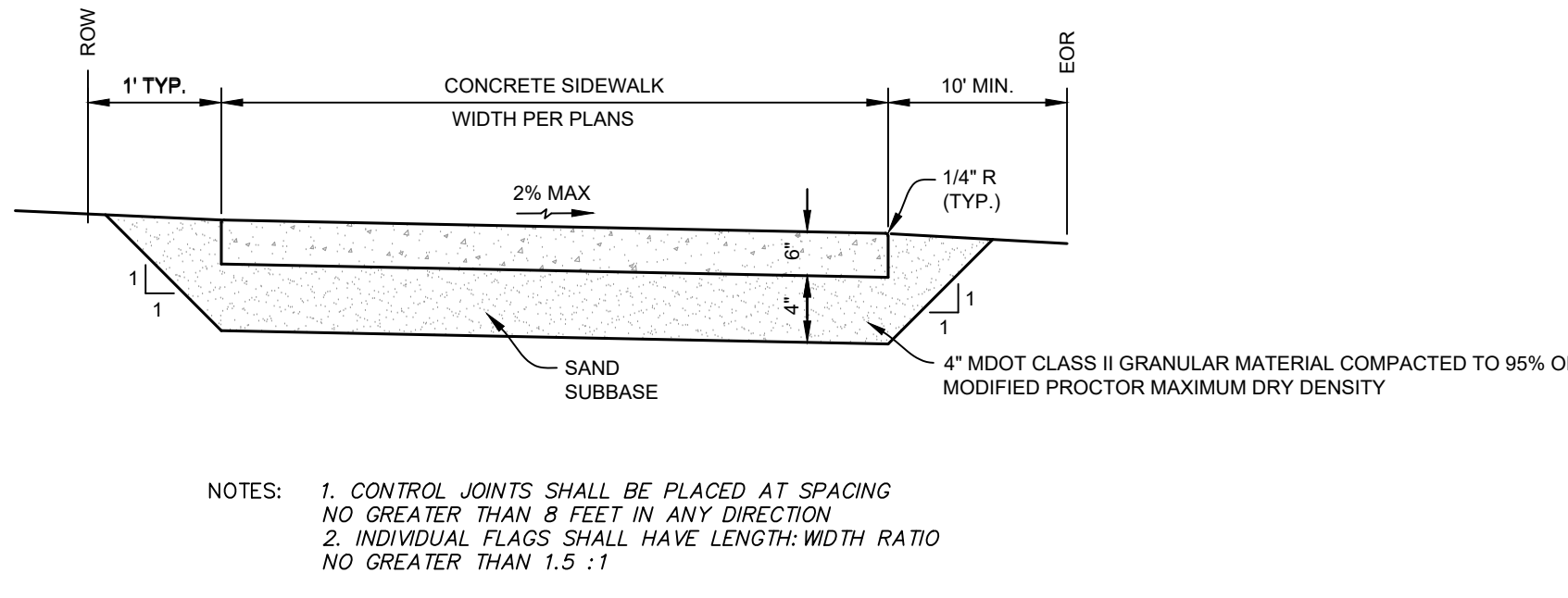
CHAIN LINK FENCE DETAIL



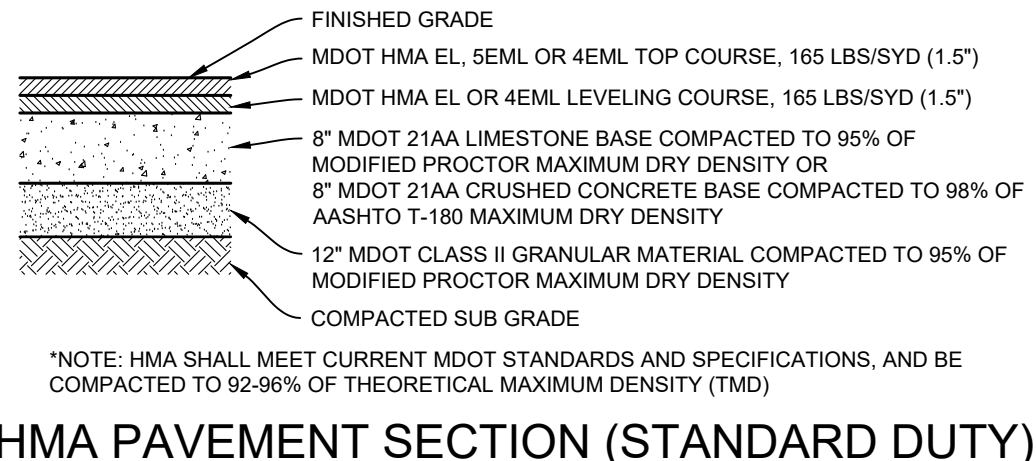
EAST DETENTION BASINS - OVERFLOW WEIR



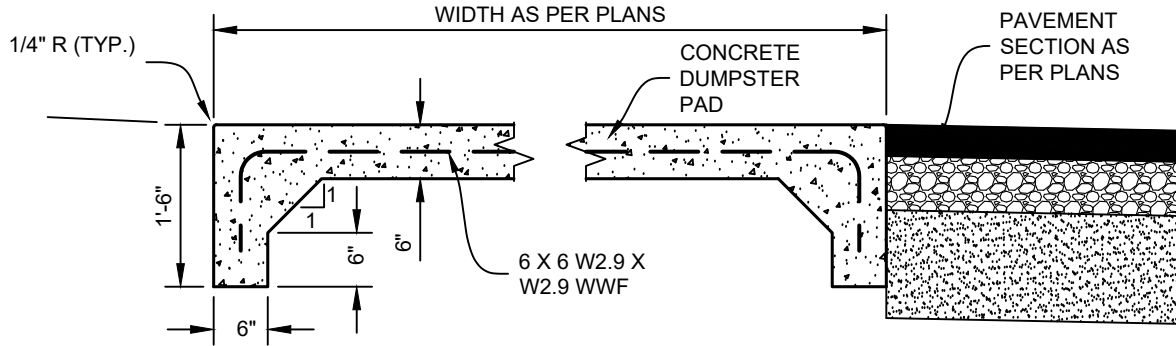
LATERAL CLEANOUT IN PAVEMENT



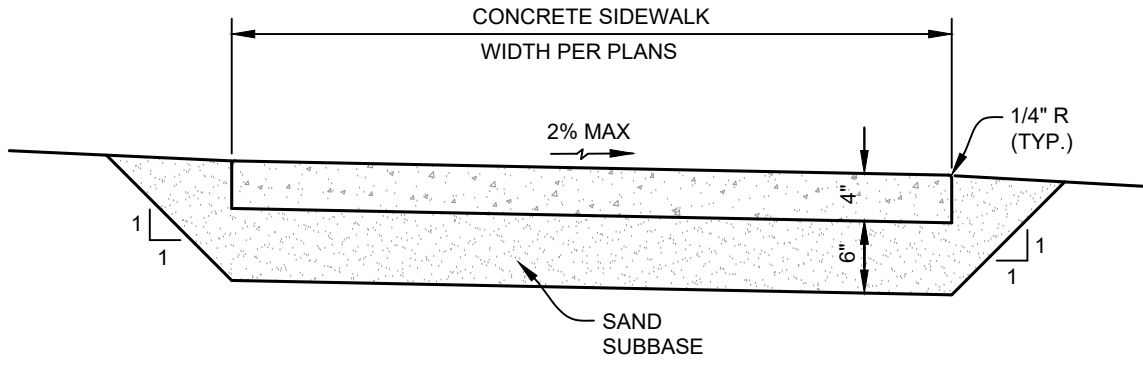
CONCRETE SIDEWALK, FLUSH



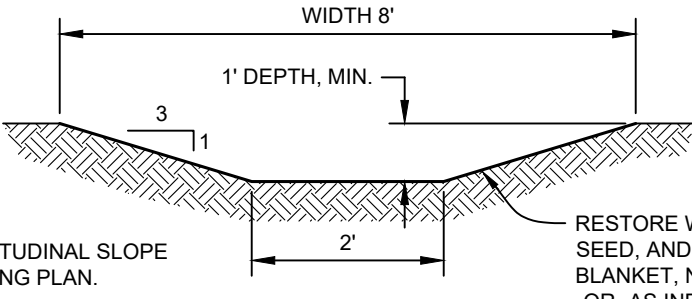
HMA PAVEMENT SECTION (STANDARD DUTY)



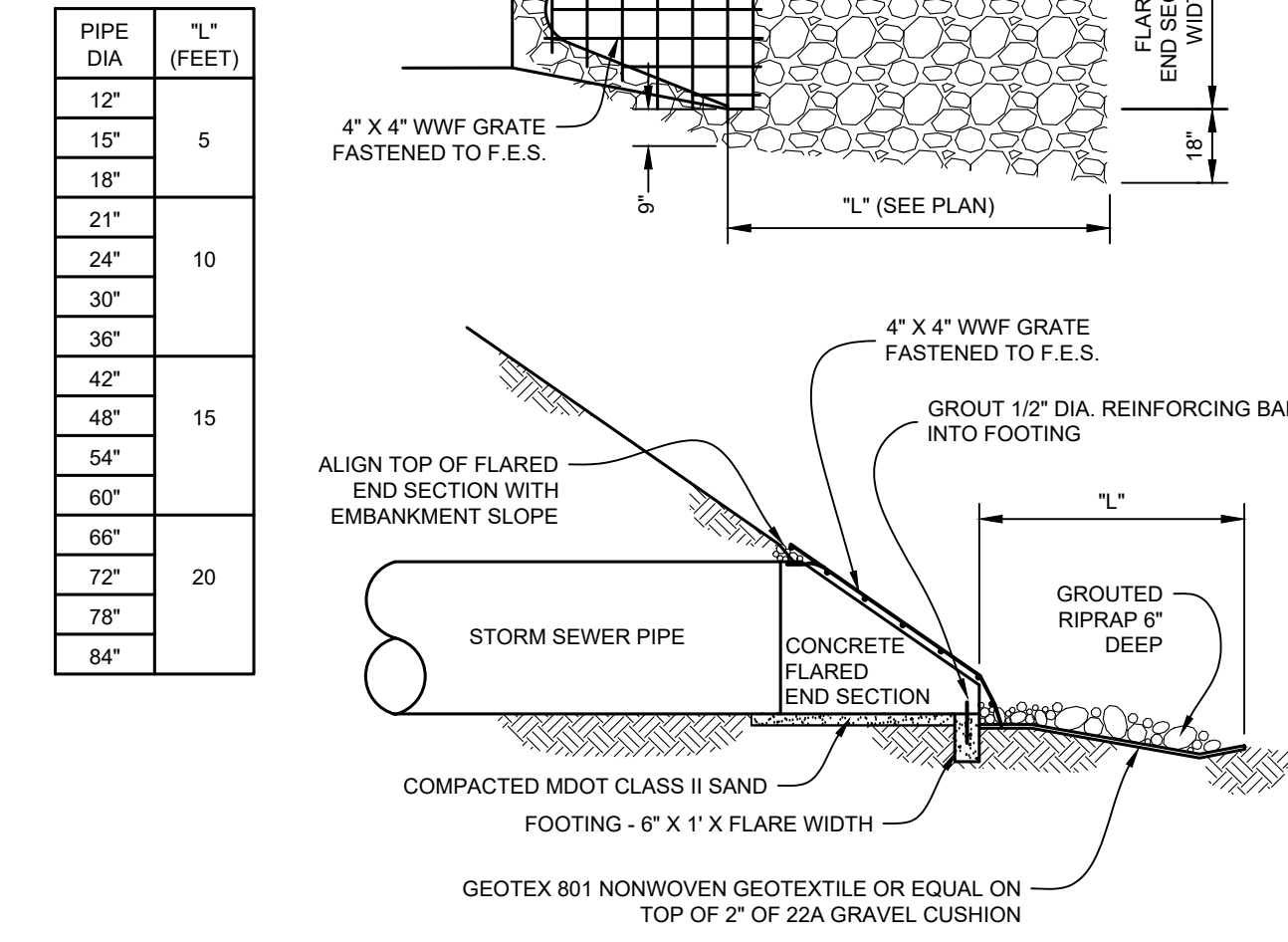
CONCRETE DUMPSTER PAD SECTION



4" CONCRETE SIDEWALK

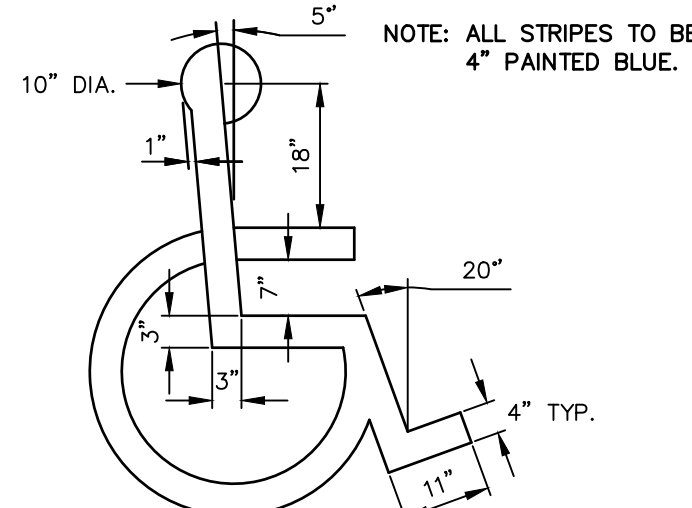


VEGETATED SWALE

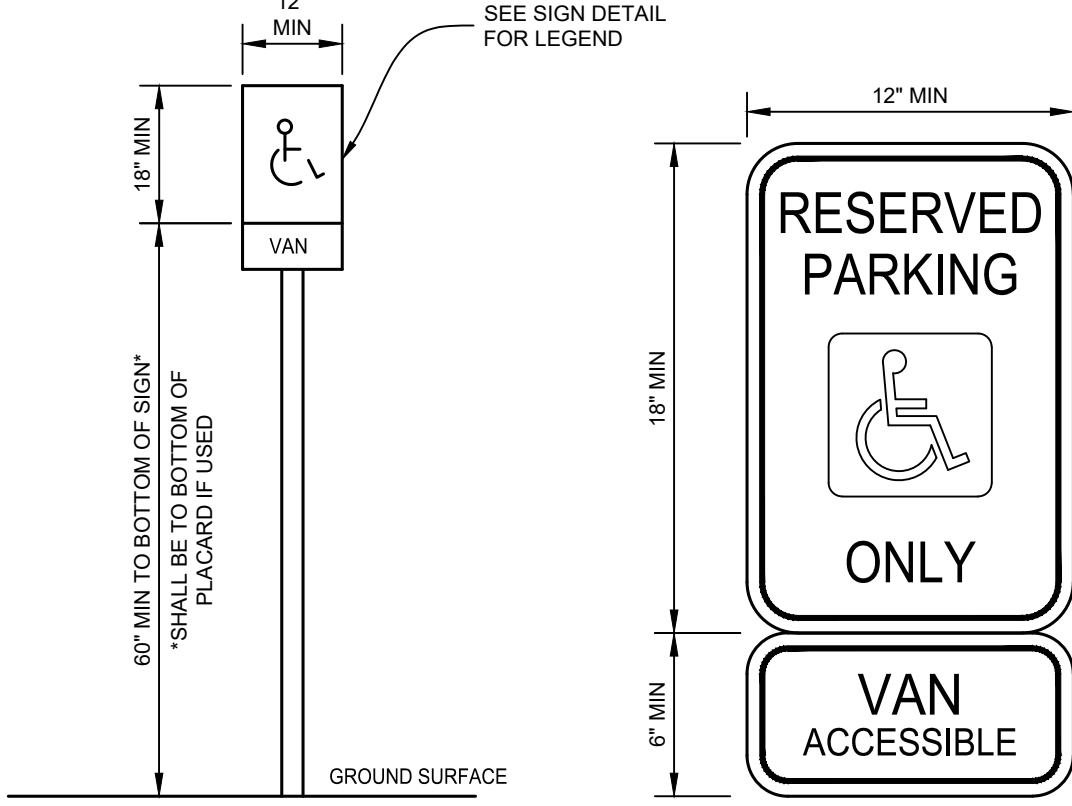


FLARED END SECTION

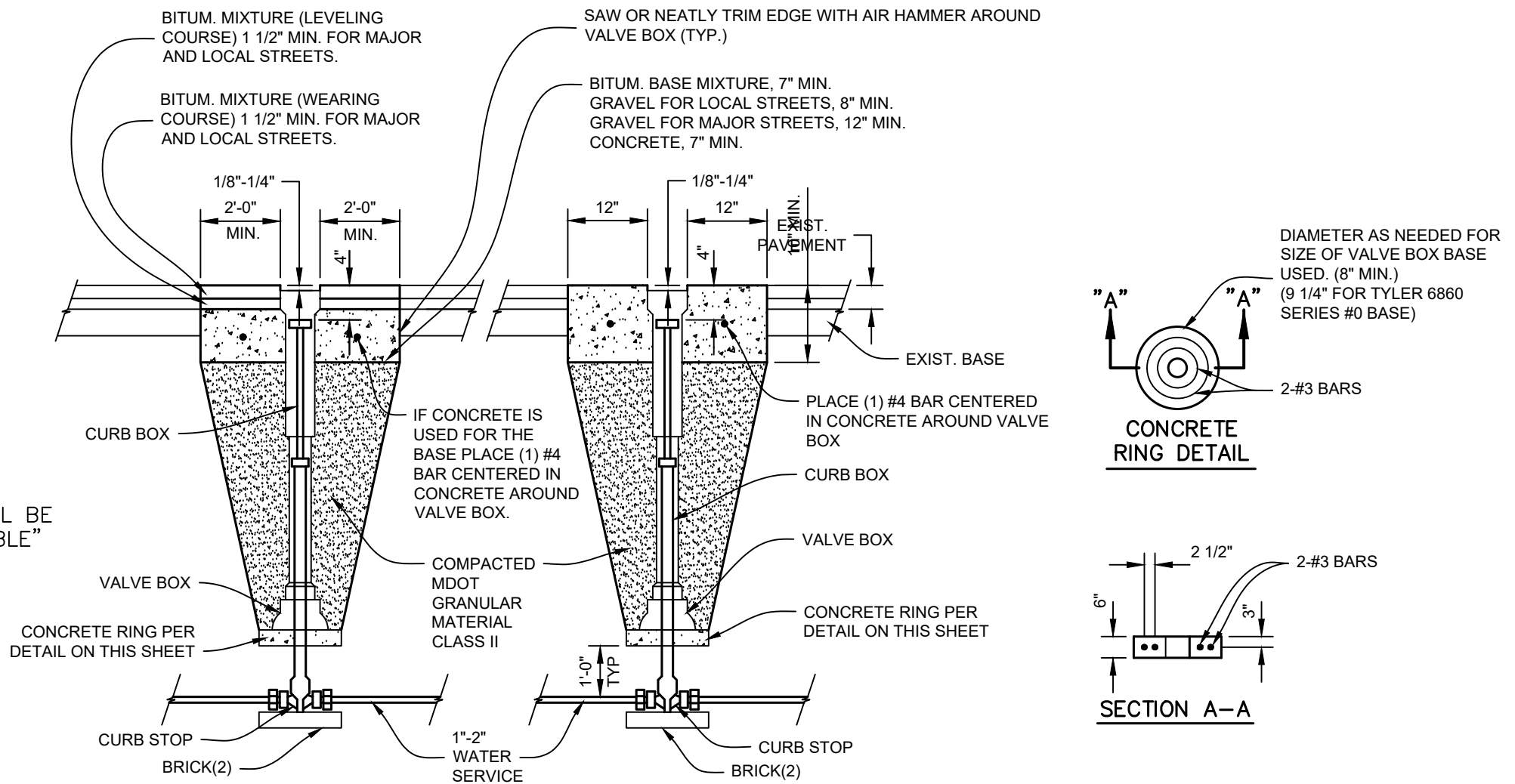
- NOTE:
1. ALL FACILITIES FOR THE DISABLED SHALL CONFORM WITH THE AMERICANS WITH DISABILITIES ACT AND ALL REVISIONS.
 2. THE CHARACTERS AND THE BACKGROUND OF SIGNS SHALL BE EGGSHELL MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. LIGHT CHARACTERS ON DARK BACKGROUND ARE PREFERRED.
 3. CONTRAST LEVELS OF SYMBOLS TO BACKGROUND TO BE A MINIMUM OF 70%.
 4. CONTRACTOR SHALL VERIFY THAT THE SYMBOL SHOWN MEETS THE CURRENT STANDARDS FOR THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND SHALL BE IN COMPLIANCE WITH ICC/ANSI FIGURE 703.7.2.1.



BARRIER FREE SYMBOL



BARRIER FREE SIGN



CURB STOP IN PAVEMENT



ISSUED FOR
APPROVAL

DRIESEN & ASSOCIATES, INC.
Engineering
Surveying
Testing
www.driesenga.com
Holland, MI 616-396-0255
Grand Rapids, MI 616-249-3800
Kalamazoo, MI 269-544-1455
Lansing, MI 517-889-6210
Ypsilanti, MI 734-368-9483

COOLIDGE AVENUE
COOLIDGE AVENUE, HOLLAND, MI, 49423
SECTION 28, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.
VIKING CONSTRUCTION GROUP
3578 MAPLE LEAF LANE, HAMILTON, MI 49419

ISSUED FOR:	
1	ISSUED FOR REVIEW 04-14-2025 D: AA C: JMT

Project Manager:	JOHN TENPAS
Project #	2410277.1A
Sheet Title:	

DETAILS

Sheet #
C-501
8 of 8

This drawing is the sole property of Viking Construction Group and the owner listed below. It is not to be used or copied without their written permission.

Coolidge Ave
Schematic Design



No.	Revision/Issue	Date
1	Site Plan Review	02/07/24
2	Site Plan Review	07/22/24
3	Internal Review	02/19/25
4	Township Review	03/31/25

PROJECT:
Coolidge Ave

DATE:
02/07/2024

DRAWN BY:
Lucas Ulberg

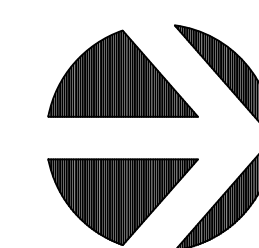
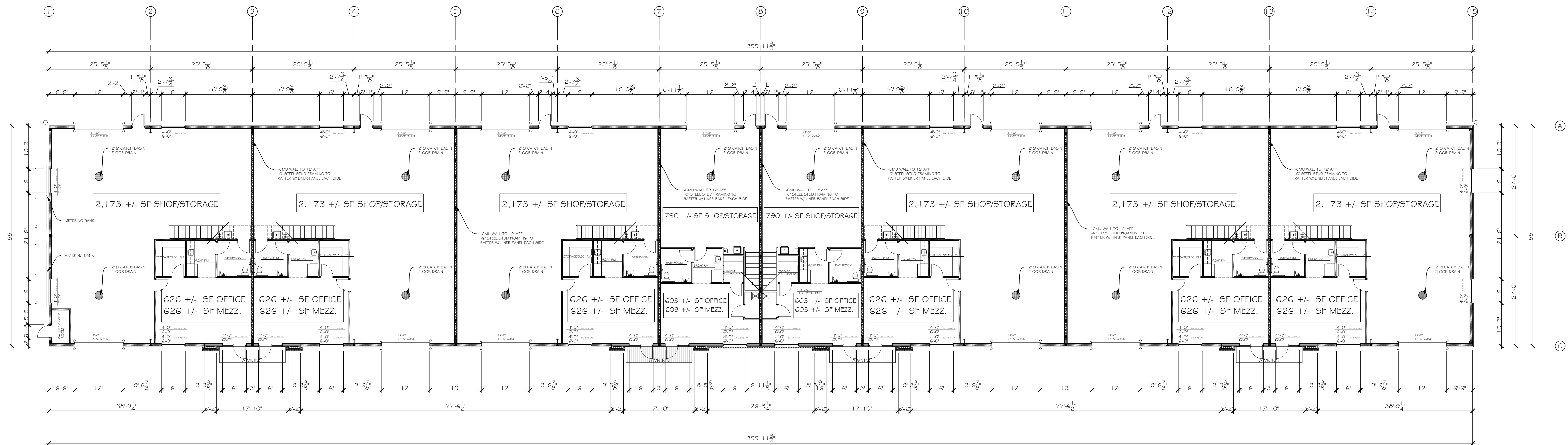
Scale:
3/32" = 1'-0"

Sheet Name:
Overall Floor Plan

SHEET:

A. I

19,580 SF BUILDING FOOTPRINT
24,542 SF OVERALL W/ MEZZANINES



OVERALL FLOOR PLAN


NORTH

SCALE: 3/32" = 1'-0" (30"X42" PAPER SIZE)

General Notes

This drawing is the sole property of Viking Construction Group and the owner listed below. It is not to be used or copied without their written permission.

Coolidge Ave
Schematic Design



VIKING
CONSTRUCTION GROUP

Residential-Commercial-Design/Build

616.379.0075

No.	Revision/Issue	Date
1	Site Plan Review	02/07/24
2	Site Plan Review	07/22/24
3	Internal Review	01/07/24
4	Township Review	03/31/25

PROJECT:
Coolidge Ave

DATE:
02/07/2024

DRAWN BY:
Lucas Ulberg

Scale:
3/32" = 1'-0"

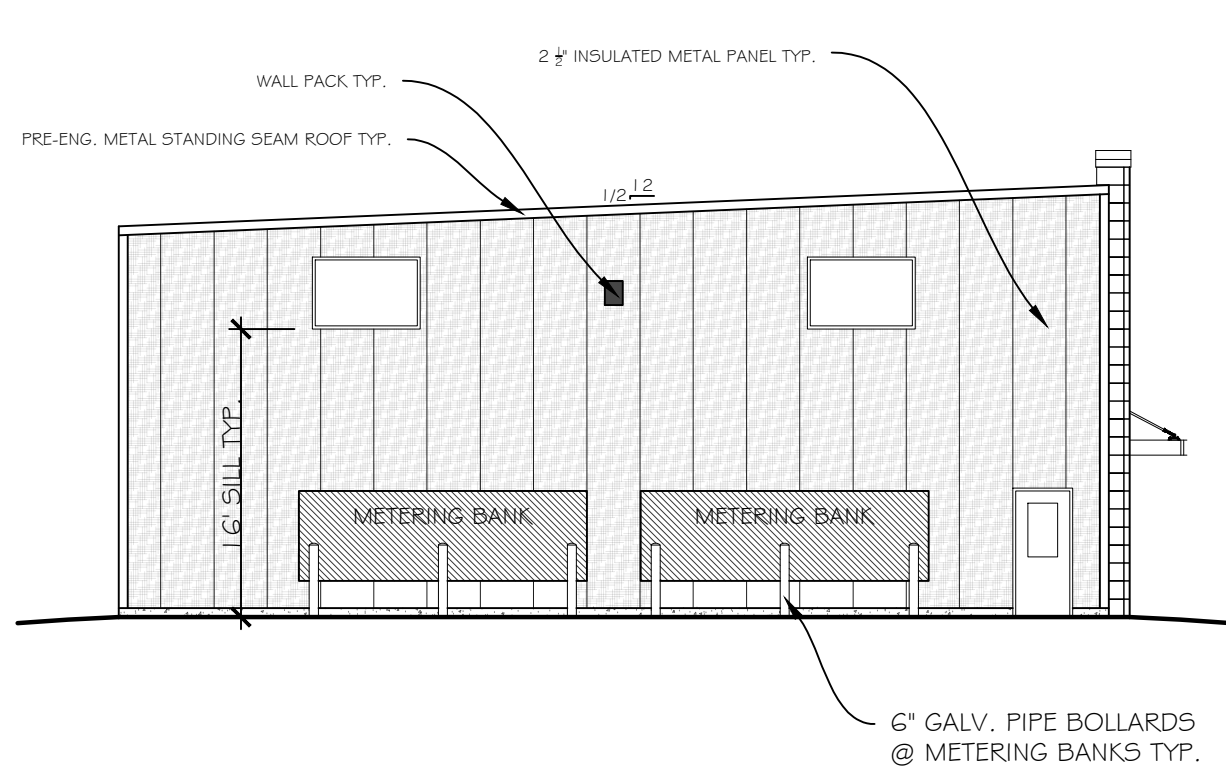
Sheet Name:
Elevations

SHEET:
A.2



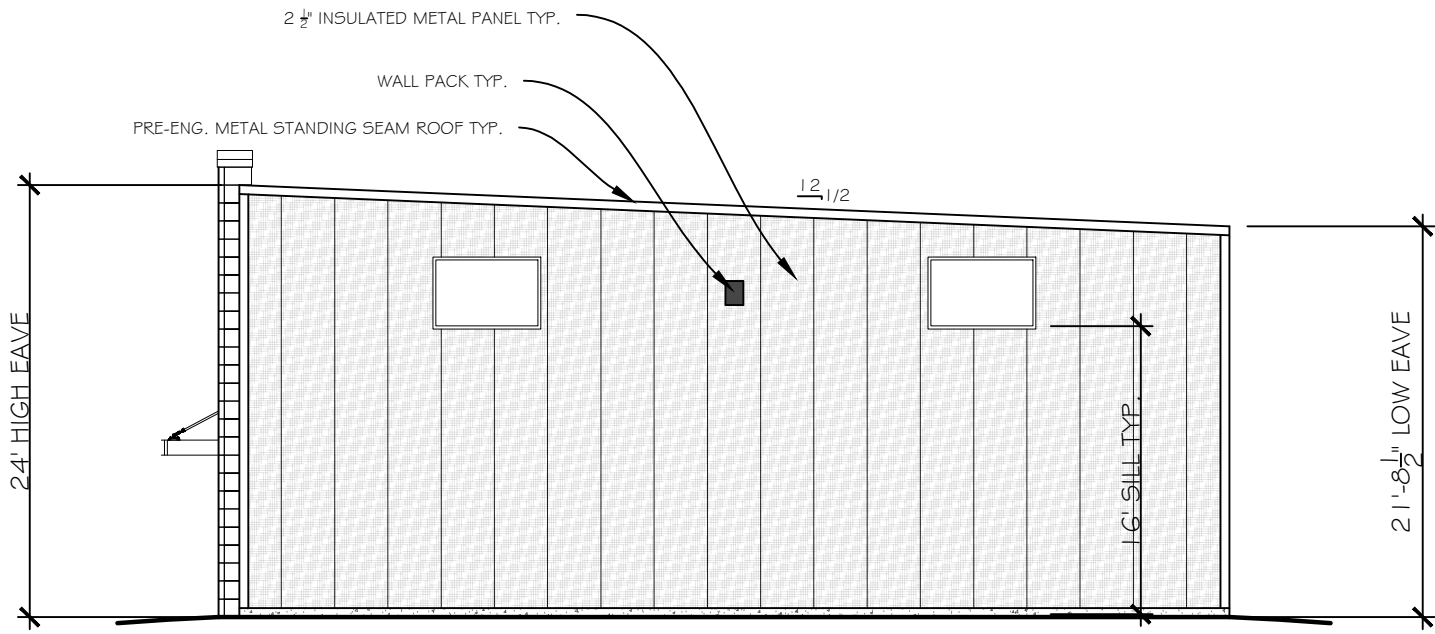
EAST ELEVATION

SCALE: 3/32"= 1'-0" (30"X42" PAPER SIZE)



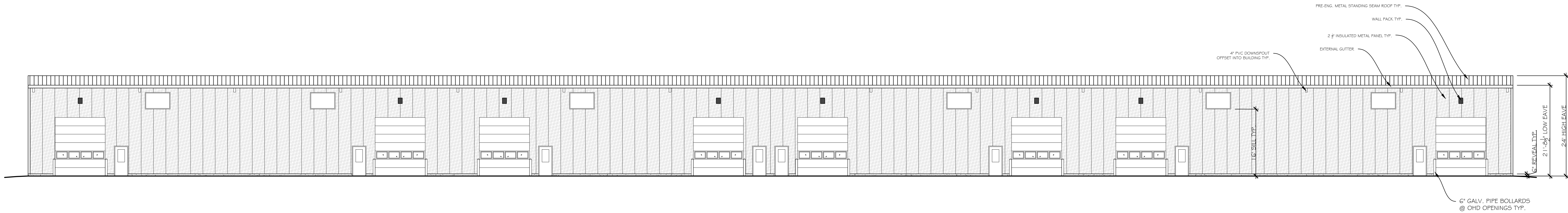
SOUTH ELEVATION

SCALE: 3/32"= 1'-0" (30"X42" PAPER SIZE)



NORTH ELEVATION

SCALE: 3/32"= 1'-0" (30"X42" PAPER SIZE)



WEST ELEVATION

SCALE: 3/32"= 1'-0" (30"X42" PAPER SIZE)