

device.

## APPLICATION FOR SPECIAL USE APPROVAL

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · Fax: 616.396.2537

**Applicant Information** Viking Construction Group Contact Name Lucas Ulberg Company (616) 379-0075 Phone Address 3578 Maple Leaf Lane \_\_\_\_\_ Hamilton, MI 49419 Fax / Email <u>lulberg@vikingconstructiongroup.</u> **Owner Information** Holst Realty LLC Contact Name Tyce Holst Company Address 62 S Waverly Rd Phone (616) 392-8539 Fax / Email taylorholland@ameritech.net Holland, MI 49423 Plan Preparer Information Contact Name John M. Tenpas Driesenga & Associates, Inc. Company Address 12330 James Street, Suite H80 (616) 396-0255 Phone Holland, MI 49424 Fax / Email <u>iohnt@driesenga.com</u> **Property Information** Address or Location James Street (Vacant), Holland, Michigan 49424 70 - 16 - <u>28</u> - <u>298</u> - <u>021</u> Parcel Number Zoning District <u>C-2 Community Commercial D</u> Present Use(s) Vacant Description of Special Use (attach additional pages as needed): Development will include 8 units for multi-tenant building, in one building totalling 24,542 sft. Units will range from 1,996 sft to 3,425 sft and will include areas for shop, office, bathroom, and mezzanine, and will also include 1-2-12' wide overhead doors. The undersigned does hereby request a public hearing before the Holland Charter Township Planning Commission for consideration of Special Use approval. A hearing fee of \$350.00 shall be submitted with eleven (11) complete copies of: this form, the site plan review requirements list

Site plans required for Special Use consideration <u>MUST</u> be submitted with this form. Applications submitted without the required site plans shall not be accepted. The copies must be submitted to the Zoning Administrator no later than four (4) weeks prior to the hearing date.

including a response to each item listed, and the site plan including an electronic copy of the site plan on CD or other file sharing

NOTE: You are required to be present at the hearing to present your application. You will be notified as to date and time. Your neighbors within 300 feet will also be notified concerning this hearing.

## **Property Owner's Certification**

I, the undersigned owner of the above-described property, certify that I understand conditions and restrictions may be placed upon this special use approval as deemed necessary by the Holland Charter Township Planning Commission and hereby agree to conform to and abide by any and all such conditions and restrictions.

I, acknowledge there are Specific Special Land Use Approval Standards in addition to those outlined in Section 15.3 (below) that apply to the following uses and by selecting a use below further acknowledge they have reviewed the associated standards and have addressed each of them in this submittal:

	Special Use – Earth-sheltered Building
	Special Use – Mineral Extraction
Γ	Special Use – Wireless Communications

I further agree to authorize members of the Planning Commission and representatives from the Holland Charter Township Building Department to enter my property in order to review the particulars of my request.

Signature of Applicant

7/15/25 Date

Signature Owner

4/16/25

Section 15.3 - General Standards of Approval. The Planning Commission shall review the particular circumstances and facts applicable to each proposed special land use with respect to the following standards:

- 1. The use is designed and constructed, and will be operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity; will be compatible with adjacent uses of land; and will not change the essential character of the area in which it is proposed.
- 2. The use is, or as a result of the special land use approval, will be served adequately by public services and facilities, including, but not limited to, streets, police and fire protection, drainage structures, refuse disposal, water and sewer facilities, and schools.
- 3. The use will not involve activities, processes, materials and equipment or conditions of operation that will be detrimental to any persons, property or the general welfare due to traffic, noise, smoke, fumes, glare, vibration, or odors.
- 4. The special land use will be consistent with the intent and purposes of this ordinance and the most recent updates to the Holland Charter Township Comprehensive Plan.
- 5. It will not be hazardous or disturbing to existing or future uses in the same general vicinity and in the community as a whole.
- 6. It will not create excessive additional requirements at public cost for infrastructure and will not be detrimental to the economic welfare of the community.
- 7. It will ensure that the environment shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal and topographic modifications, which result in maximum harmony with adjacent areas.
- 8. It shall conform with all specific requirements applicable to the proposed use, as applicable.
- 9. The use will not result in traffic congestion, nor have an adverse impact on roads, nor cause hazards.
- 10. There is need for the proposed use within the township.



## **PROJECT NARRATIVE**

Parcel # 70-16-28-298-021

Site Address: Coolidge Avenue, Holland, MI 49423

April 15, 2025 D&A #2410277.1A

## 1. Project Overview

This project involves the development of a 1.61-acre commercial site located on the west side of Coolidge Avenue north of 8th Street, within Section 28 of Holland Charter Township, Ottawa County, Michigan. The project is being developed by Viking Construction Group and includes the construction of a new 19,580 SF commercial building (24,542 SF total with mezzanines), along with associated parking, utilities, stormwater management facilities, and landscaping.

## 2. Site Zoning & Use

The site is zoned C-2 (Community Commercial District) and the proposed use is consistent with the zoning ordinance and surrounding developments. The project meets all applicable zoning requirements including building height, setbacks, and lot coverage.

## 3. Parcel & Legal Description

Parcel Numbers: 70-16-28-298-021

## 4. Stormwater Management

Stormwater will be collected via a series of catch basin systems and routed to a proposed detention basin located on-site.

- Detention Volume Provided: 25,732 cu. ft.
- Required Volume (LGROW calc): 25,305 cu. ft.

Overflow is directed to a grassed swale system located south of the site. Design complies with Ottawa County Drain Commission standards.

## 5. Utility Services

- Water: 1.5" Type K copper service and 6" ductile iron fire line connected to existing public water main.
- Sanitary: 6" PVC lateral connecting to existing sanitary system; installed per Township standards.
- Storm Sewer: Full HDPE system integrated with catch basins and detention basin.

## 6. Site Access & Circulation

Access to the site will be provided via Coolidge Avenue, with dedicated driveways serving general circulation and fire truck turning radii accommodated. All access points comply with Ottawa County Road Commission ROW requirements.



## 7. Parking

- Required: 27 spaces (based on office & warehouse use)
- Provided: 27 spaces, including 3 ADA-compliant spaces

Parking layout complies with dimensional and landscaping requirements.

## 8. Landscaping

Landscaping complies with Article 11 zoning ordinance, including:

- Buffer trees/shrubs.
- Parking lot screening.
- Total of 17 canopy/ 8 evergreen trees and 96 shrubs provided.

## 9. Site Lighting

See attached a Photometric Plan.

## 10. Refuse Area

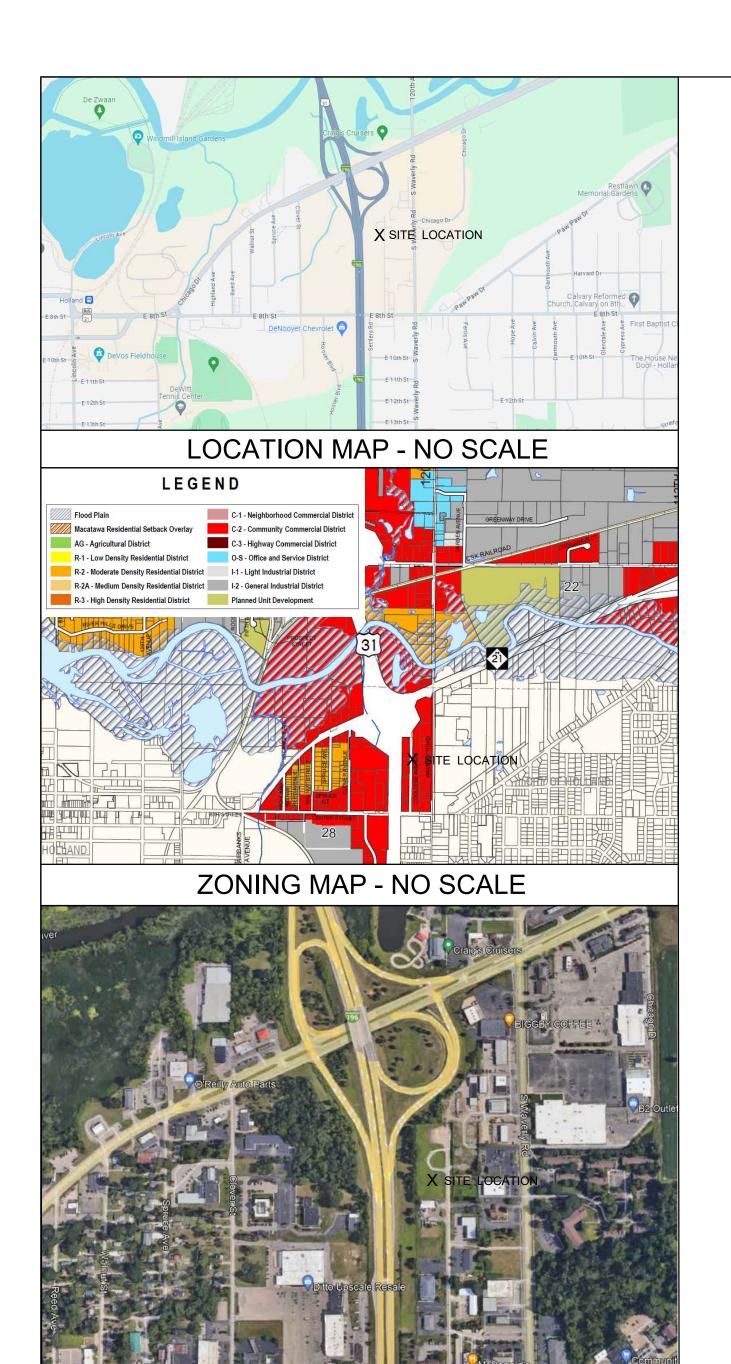
A screened dumpster enclosure is located at the southwest corner of the building. Enclosure includes concrete pad, privacy fencing, and swinging gates.

## 11. Construction Schedule

Construction is anticipated to begin in July 2025 and be completed in December 2025.

## 12. Environmental Considerations

- Wetlands: None identified on-site.
- Soils: See attached soil boring report.
- SESC Permit: Will be obtained per Ottawa County requirements.



**AERIAL - NO SCALE** 



## VIKING CONSTRUCTION GROUP COOLIDGE AVENUE

COOLIDGE AVENUE SECTION 28, T05N, R15W HOLLAND, MICHIGAN 49423

## SHEET INDEX

G-001	TITLE SHEET
V-101	EXISTING TOPOGRAPHIC PLAN
CD-101	CIVIL DEMOLITION PLAN
C-101	SITE PLAN
C-102	STORM SEWER, GRADING AND SOIL EROSION CONTROL PLAN
C-103	UTILITY PLAN
L-101	LANDSCAPE PLAN
C-501	DETAILS





ISSUED FOR **APPROVAL** 

SITE ADDRESS

COOLIDGE AVENUE COOLIDGE AVENUE HOLLAND, MI 49423

OWNER

HOLST REALTY LLC

62 S WAVERLY ROAD HOLLAND, MI 49423 (616)-392-8539 TYCE HOLST TAYLORHOLLAND @AMERITECH.NET

GENERAL CONTRACTOR

VIKING CONSTRUCTION GROUP 3578 MAPLE LEAF LANE HAMILTON, MI 49419

LUCAS ULBERG LULBERG@VIKINGCONSTRUCTIONGROUP.COM

**CIVIL ENGINEER** DRIESENGA & ASSOCIATES, INC. 12330 JAMES STREET, SUITE H80 HOLLAND, MICHIGAN 49424

(616) 396-0255 JOHN TENPAS, P.E.

DRIESENGA & ASSOCIATES, INC

Engineering Surveying

> Testing www.driesenga.com

Holland, MI 616-396-0255 Grand Rapids, MI

616-249-3800 Kalamazoo, MI

269-544-1455

Lansing, MI

517-889-6210 Ypsilanti, MI 734-368-9483

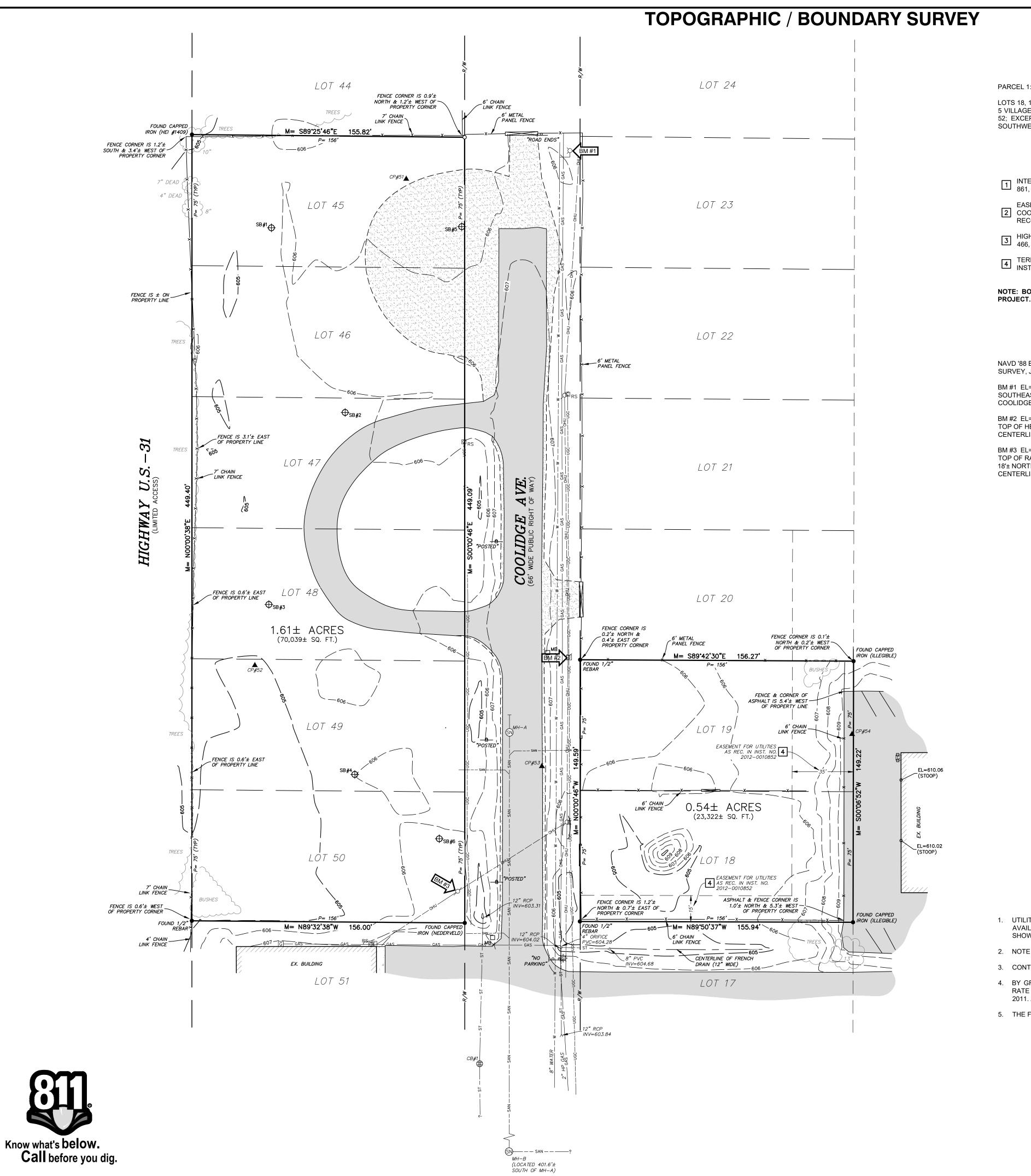
-FOR-KING CONSTRUCTION GROUP 3578 MAPLE LEAF LANE. HAMILTON. MI 49419

ISSUED FOR: ISSUED FOR REVIEW 04-14-2025 D: AA C: JMT

JOHN TENPAS Project # 2410277.1A

TITLE SHEET

G-001 1 of 8



## SCHEDULE "A" LEGAL DESCRIPTION FROM: FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. 4012-129744 (EFFECTIVE DATE: AUGUST 14, 2013)

LOTS 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 45, 46, 47, 48, 49 AND 50, RIVERVIEW SUBDIVISION OF A PART OF LOT 5 VILLAGE OF CEDAR SWAMP, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 8 OF PLATS, PAGE 52; EXCEPT THAT PART OF LOTS 26, 27, AND 28 LYING NORTHWESTERLY OF A LINE BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 26; THENCE NORTHEASTERLY TO THE NORTHEAST CORNER OF SAID LOT 28.

## SCHEDULE "B-II" PART TWO: SPECIFIC EXCEPTIONS FROM: FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. 4012-129744 (EFFECTIVE DATE: AUGUST 14, 2013)

- INTERST OF JOHN GRONBERG, AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 782, PAGE 551, LIBER 861, PAGE 674, AND LIBER 937, PAGE 22. (NO EASEMENT TO DEPICT)
- EASEMENT FOR PUBLIC UTILITIES OVER THAT PORTION OF LAND INCLUDED IN THE ABANDONED COOLIDGE AVENUE AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 22 OF MISCELLANEOUS RECORDS, PAGE 98. (NO SUPPORTING DOCUMENTATION RECEIVED OR REVIEWED)
- HIGHWAY U.S. 31 IS A LIMITED ACCESS HIGHWAY AS DISCLOSED BY INSTRUMENTS RECORDED IN LIBER 466, PAGE 250 AND LIBER 469, PAGE 393. (NO SUPPORTING DOCUMENTATION RECEIVED OR REVIEWED)
- TERMS AND CONDITIONS CONTAINED IN GRANT OF EASEMENT FOR UTILITIES AS DISCLOSED BY INSTRUMENT RECORDED IN INSTRUMENT NO. 2012-0010852. (SHOWN ON DRAWING)

NOTE: BOUNDARY SURVEY PERFORMED ON LOTS 18-19 AND 45-50 ONLY OF PARCEL 1 AS PART OF THIS PROJECT. PARCEL 2 WAS NOT INCLUDED.

## BENCHMARK DATA

NAVD '88 BASED ON PREVIOUS DRIESENGA & ASSOCIATES, INC. TOPOGRAPHIC / PARTIAL BOUNDARY SURVEY, JOB NO. 1610351.5A, DATED 05-24-2016.

BM #1 EL= 607.82' (NAVD '88 DATUM)

SOUTHEAST UPPER FLANGE BOLT UNDER THE 'E' IN 'EJIW' ON HYDRANT, LOCATED ON THE EAST SIDE OF COOLIDGE AVE., 21'± SOUTHEAST OF THE GATE ENTRANCE ON THE NORTH END OF COOLIDGE AVE.

M #2 EL= 607.33' (NAVD '88 DATUM)

TOP OF HEAD OF RAILROAD SPIKE IN SOUTHWEST FACE OF UTILITY POLE, LOCATED 26'± EAST OF CENTERLINE OF COOLIDGE AVE., AND 7'± WEST OF NORTHWEST CORNER OF LOT 19.

BM #3 EL= 607.88' (NAVD '88 DATUM)
TOP OF RAILROAD SPIKE IN NORTH FACE OF POWE

TOP OF RAILROAD SPIKE IN NORTH FACE OF POWER POLE, LOCATED NEAR THE SOUTH ENTRANCE TO SITE, 18'± NORTHWESTERLY OF THE SOUTHEAST PROPERTY CORNER OF LOT 50, AND 38'± WEST OF THE CENTERLINE OF COOLIDGE AVE.

## SURVEY CONTROL

POINT	NORTHING	EASTING	ELEVATION		
<u>NUMBER</u>	(ASSUMED)	(ASSUMED)	(NAVD '88)		
51	5402.1498'	4943.2662'	605.82'		
52	5124.1407'	4856.7303'	604.74'		
53	5066.4682'	5020.8037'	607.49'		
54	5084.8087'	5198.1053'	609.28'		

STORM STRUCTURE DATA	SANITARY STRUCTURE DATA
CB #1 - 4'Ø CONCRETE BLOCK RIM = 605.99 INV (N) 12" RCP=603.29 INV (S) 15" RCP=603.14 SUMP=601.49	MH-A - 4'Ø CONCRETE RIM = 607.61 INV (N) CONC STUB 597.84 INV (S) 8" PVC=597.49
	MH-B - 4'Ø CONCRETE RIM = 607.72 INV (N) 8" PVC=595.86 INV (E) 8" PVC=595.70 INV (S) 8" PVC=595.77

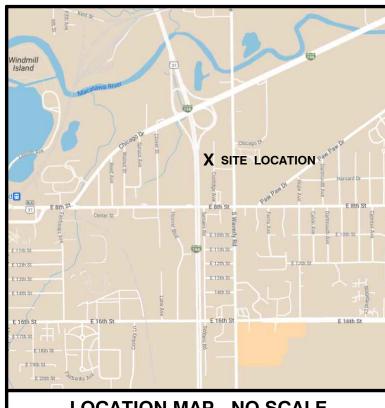
## MISS DIG INFORMATION

MISS DIG SURVEY TICKET # 2024041703294 REV: 000 (INCLUDES INFORMATION RECEIVED THROUGH 05-07-2024)

- CHARTER COMMUNICATIONS / SPECTRUM 04/17/2024 (CLEAR)
- SEMCO ENERGY 04/18/2024 (MAPS RECIEVED)
- CCI SYSTEMS 04/19/2024 (MAPS RECEIVED CLEAR)
- HOLLAND BOARD OF PUBLIC WORKS 04/23/2024 (MAPS RECEIVED)
- AT&T 04/25/2024 (MAPS RECEIVED)

## SURVEYOR'S NOTES

- 1. UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL FIELD MEASUREMENTS AND AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- 2. NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG CALL MISS DIG AT 811.
- 3. CONTOUR INTERVAL = 1 FOOT.
- 4. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" (NO SCREEN) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 26139C0312E, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 16, 2011. ZONE "X" (NO SCREEN) AREAS DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN.
- 5. THE FIELD WORK WAS COMPLETED ON APRIL 24, 2024.



DRIESENGA &

ASSOCIATES, INC

Engineering

Surveying

Testing

www.driesenga.com

Holland, MI 616-396-0255

**Grand Rapids, MI** 

616-249-3800

Kalamazoo, MI

269-544-1455 Lansing, MI

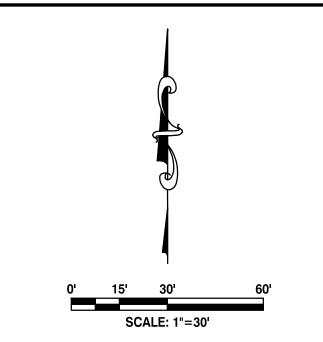
517-977-1019 Ypsilanti, MI 734-368-9483

**RO** 

FORTRUCTION

REVISIONS

LOCATION MAP - NO SCALE



LEGEND	EXISTING
BENCHMARK	BM #1
SET CAPPED REBAR #62695	<b>\</b> _0
FOUND IRON	•
CONTROL POINT	<b>A</b>
PLATTED	P=
MEASURED	M=
CATCH BASIN	$\bigoplus$
SANITARY SEWER MANHOLE	
FIRE HYDRANT	abla
GAS METER	G
UTILITY RISER	© <sub>RS</sub>
UTILITY POLE	Ø
ELECTRIC METER	E
SIGN	<del>-                                    </del>
SOIL BORING	<del>⊕</del> sв
POST	
MAIL BOX	$\square_{MB}$
UNDERGROUND GAS LINE MARKER	<del>-</del> Ø-
GATE	
FENCE LINE	xx
OVERHEAD UTILITIES	OHU
UNDERGROUND ELECTRIC	UGE — — — UGE – UGE – — — UGE –
COMMUNICATIONS	
TELEPHONE	
FIBER OPTIC	F0 ————
GAS LINE	GAS
EXISTING WATER LINE	
EXISTING STORM SEWER	ST ST
EXISTING SANITARY SEWER	——————————————————————————————————————
BITUMINOUS SURFACE CONCRETE SU	JRFACE GRAVEL SURFA
Å	

Scale: 1"=30'

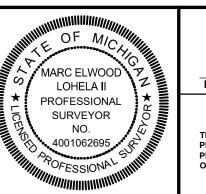
05-07-2024 Project #

2410277.5A
Sheet Title:
TOPOGRAPHIC

/ BOUNDARY SURVEY

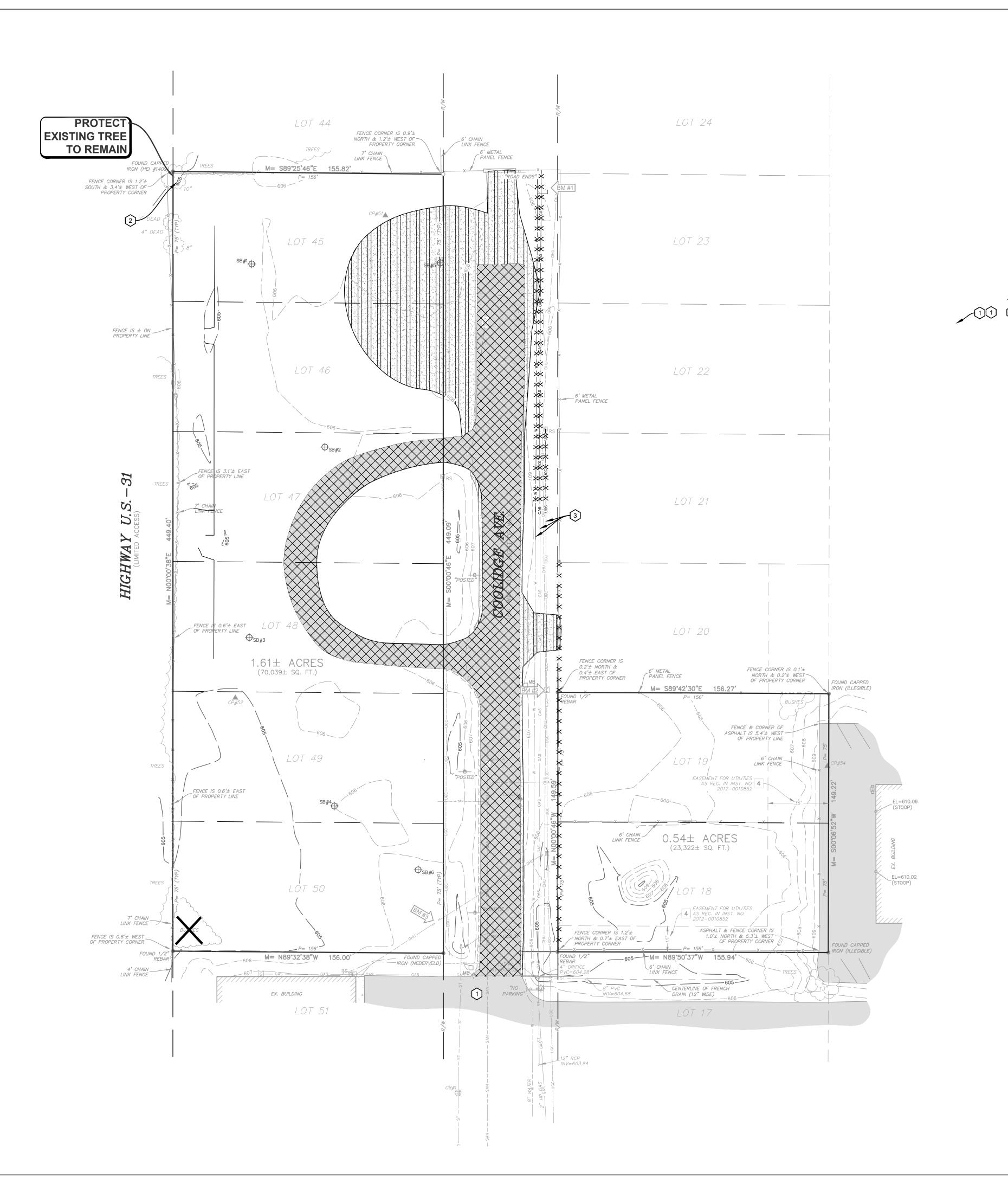
V-101

Tax Parcel No.: 70-16-28-298-021 & Part of 70-16-28-299-046



Elwood Lohela II P.S. No. 4001062695

THE DESCRIPTION WAS GIVEN TO US BY THE PERSON CERTIFIED TO, OR WAS PREPARED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY THE PERSON CERTIFIED TO, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS.



Know what's below.

Call before you dig.

## **CLEARING & DEMOLITION NOTES:**

- 1. REMOVE ALL STRUCTURES, SUPPORT COLUMNS, FOOTINGS, ASPHALT PAVING, CONCRETE CURB, SIDEWALKS, CONCRETE PADS, TREES, STUMPS, HEDGES, UTILITIES, AND OTHER EXISTING SITE FEATURES WITHIN LIMITS OF DEMOLITION. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE INDICATED AND DISPOSED OF IN A MANNER ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- 2. MOVEMENT OF CLEARED WOOD IS RESTRICTED; REFER TO EMERALD ASH BORER QUARANTINE INFORMATION AT WWW.MICHIGAN.GOV. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL QUARANTINE REQUIREMENTS.
- 3. CONSTRUCTION FENCE SHALL BE PLACED AT THE DRIP LINE OF ALL TREES WITHIN THE PROJECT AREA THAT ARE INDICATED TO BE PROTECTED. DO NOT OPERATE EQUIPMENT OR STORE MATERIALS OR VEHICLES WITHIN THIS AREA.
- 4. UNLESS INDICATED TO BE ABANDONED IN PLACE, ALL UTILITIES TO BE DEMOLISHED SHALL BE REMOVED IN THEIR ENTIRETY. UTILITIES TO BE ABANDONED IN PLACE SHALL BE FILLED WITH FLOWABLE FILL AND SECURELY CAPPED.
- 5. EXCEPT FOR THOSE UTILITIES INDICATED TO BE ABANDONED OR REMOVED, RECONNECT ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- 6. ALL CATCHBASIN AND MANHOLE FRAMES AND COVERS SPECIFIED TO BE REMOVED SHALL BE SALVAGED, CLEANED AND INSPECTED, AND MAY BE REUSED WITH APPROVAL BY ENGINEER.
- 7. ANY REMOVAL OF PAVEMENT, SIDEWALK, CURB AND GUTTER OR OTHER HARD SURFACES SHALL BE TO A SAWCUT LINE AT THE NEXT JOINT BEYOND REMOVAL LIMITS SHOWN.
- 8. DEMOLITION WORK IS INDICATED BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH THE EXTENT OF DEMOLITION WORK REQUIRED.

## **DEMOLITION KEY:**

1 1 PROTECT EX. ASPHALT PAVEMENT TO REMAIN

(2) PROTECT EX. TREES TO REMAIN, TYP.

(3) PROTECT EX. UTILITY TO REMAIN, TYP.

## REMOVAL LEGEND:

CONCRETE REMOVAL

ASPHALT REMOVAL

BUILDING REMOVAL

TREE CLEARING

TREE/SHRUB REMOVAL

**GRAVEL REMOVAL** 

XXXX FENCE/WALL/UTILITY/MISC. REMOVAL

HH

E<sub>RS</sub> G<sub>RS</sub> II<sub>RS</sub> E<sub>RS</sub> O<sub>RS</sub> II<sub>TR</sub> I<sub>RS</sub>

→ SB #1

**LEGEND** BENCHMARK STORM SEWER MANHOLE FLARED END SECTION

SANITARY SEWER MANHOLE CLEANOUT WELL HEAD FIRE HYDRANT FIRE DEPARTMENT CONNECTION SPRINKLER CONTROL VALVE SPRINKLER HEAD VALVE (WATER & GAS) GAS METER

UTILITY POLE LIGHT POLE GUY ANCHOR TRANSFORMER HAND HOLE (ELECTRIC) ELECTRIC METER

GROUND MOUNTED LIGHT SOIL BORING **BOLLARD POST** GATE FENCE LINE

OVERHEAD UTILITIES UNDERGROUND ELECTI COMMUNICATIONS TELEPHONE FIBER OPTIC GAS LINE

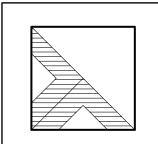
EXISTING WATER LINE PROPOSED WATER LINE EXISTING STORM SEWER PROPOSED STORM SEWER EXISTING SANITARY SEWER PROPOSED SANITARY SEWER

EXISTING CONCRETE SURFACE GRAVEL SURFACE BITUMINOUS SURFACE PROPOSED PROPOSED BITUMINOUS SURFACE CONCRETE SURFACE . . . . . .

CONIFEROUS TREE

DECIDUOUS TREE ORNAMENTAL BUSH

ISSUED FOR **APPROVAL** 



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Lansing, MI 517-889-6210

Ypsilanti, MI 734-368-9483

CONSTRUCTION

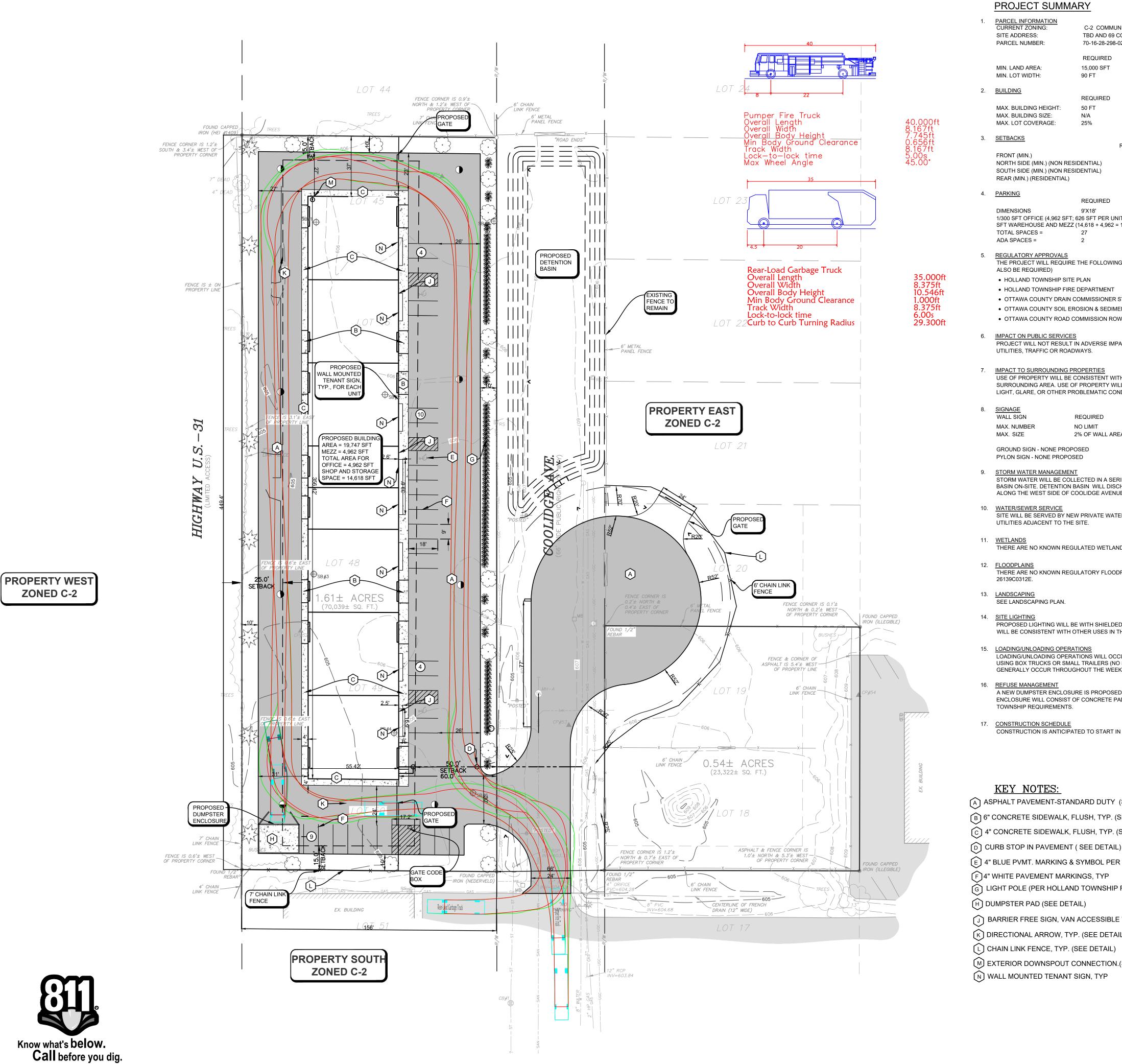
ISSUED FOR: ISSUED FOR REVIEW 04-14-2025 D: AA C: JMT

Project Manager: JOHN TENPAS Project # 2410277.1A

> CIVIL **DEMOLITION** PLAN

Sheet Title:

CD-101 3 of 8



## PROJECT SUMMARY

C-2 COMMUNITY COMMERCIAL DISTRICT TBD AND 69 COOLIDGE AVE SITE ADDRESS:

PARCEL NUMBER: 70-16-28-298-021

PROVIDED REQUIRED MIN. LAND AREA: 15,000 SFT 1.61 AC MIN. LOT WIDTH: 449 FT

<u>BUILDING</u> REQUIRED

PROVIDED MAX. BUILDING HEIGHT: 50 FT 25.8 FT MAX. BUILDING SIZE: 19747 SFT N/A MAX. LOT COVERAGE: 25% 21.0%

<u>SETBACKS</u>

REQUIRED PROVIDED 60 FT NORTH SIDE (MIN.) (NON RESIDENTIAL) 15 FT 37 FT SOUTH SIDE (MIN.) (NON RESIDENTIAL) 15 FT 55.84 FT REAR (MIN.) (RESIDENTIAL) 40.5 FT

<u>PARKING</u>

REQUIRED PROVIDED DIMENSIONS 9'X18' 1/300 SFT OFFICE (4,962 SFT; 626 SFT PER UNIT FOR 6 UNIT + 1,206 SFT; 607 SFT PER UNIT FOR 2 UNIT) + 1/2000 SFT WAREHOUSE AND MEZZ (14,618 + 4,962 = 19580 SFT) = 27 TOTAL SPACES = ADA SPACES =

THE PROJECT WILL REQUIRE THE FOLLOWING APPROVALS, AT A MINIMUM (OTHER PERMITS/APPROVAL MAY ALSO BE REQUIRED)

HOLLAND TOWNSHIP SITE PLAN

HOLLAND TOWNSHIP FIRE DEPARTMENT

OTTAWA COUNTY DRAIN COMMISSIONER STORM WATER MANAGEMENT

• OTTAWA COUNTY SOIL EROSION & SEDIMENTATION CONTROL PERMIT

REQUIRED

OTTAWA COUNTY ROAD COMMISSION ROW/DRIVEWAY

IMPACT ON PUBLIC SERVICES PROJECT WILL NOT RESULT IN ADVERSE IMPACT TO PUBLIC SERVICES, INCLUDING POLICE & FIRE PROTECTION, UTILITIES, TRAFFIC OR ROADWAYS.

IMPACT TO SURROUNDING PROPERTIES

USE OF PROPERTY WILL BE CONSISTENT WITH OTHER USES IN THIS ZONING DISTRICT AND IN THE SURROUNDING AREA. USE OF PROPERTY WILL NOT GENERATE ADVERSE LEVELS OF NOISE, VIBRATION, SMOKE, LIGHT, GLARE, OR OTHER PROBLEMATIC CONDITIONS.

PROVIDED

1 FOR THE SITE,1 FOR EACH TENANT

WALL SIGN MAX. NUMBER

NO LIMIT MAX. SIZE 2% OF WALL AREA

GROUND SIGN - NONE PROPOSED PYLON SIGN - NONE PROPOSED

STORM WATER MANAGEMENT

STORM WATER WILL BE COLLECTED IN A SERIES OF CATCH BASINS AND PIPES, AND ROUTED TO DETENTION BASIN ON-SITE. DETENTION BASIN WILL DISCHARGE TO A PROPOSED EXTENSION OF EXISTING ROADSIDE DITCH ALONG THE WEST SIDE OF COOLIDGE AVENUE.

10. WATER/SEWER SERVICE

SITE WILL BE SERVED BY NEW PRIVATE WATER AND SEWER CONNECTIONS CONNECTED TO EXISTING PUBLIC UTILITIES ADJACENT TO THE SITE.

THERE ARE NO KNOWN REGULATED WETLANDS ON THE SUBJECT PROPERTY.

THERE ARE NO KNOWN REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY, PER FEMA FIRM MAP CN:

13. <u>LANDSCAPING</u> SEE LANDSCAPING PLAN.

14. SITE LIGHTING

PROPOSED LIGHTING WILL BE WITH SHIELDED LIGHT POLES AND WALL PACKS AT LOCATIONS SHOWN. LIGHTING WILL BE CONSISTENT WITH OTHER USES IN THE AREA AND WILL COMPLY WITH ORDINANCE REQUIREMENTS.

LOADING/UNLOADING OPERATIONS WILL OCCUR INSIDE EACH UNIT. DELIVERIES/SHIPMENTS WILL BE DONE USING BOX TRUCKS OR SMALL TRAILERS (NO SEMI-TRUCKS WILL BE ALLOWED).DELIVERIES/SHIPMENTS WILL GENERALLY OCCUR THROUGHOUT THE WEEK DURING DAYTIME HOURS.

A NEW DUMPSTER ENCLOSURE IS PROPOSED, LOCATED OFF THE SOUTHWEST CORNER OF THE BUILDING. ENCLOSURE WILL CONSIST OF CONCRETE PAD, PRIVACY FENCE AND DOUBLE SWING GATE, AND COMPLY WITH TOWNSHIP REQUIREMENTS.

17. CONSTRUCTION SCHEDULE

CONSTRUCTION IS ANTICIPATED TO START IN JULY, 2025 AND BE COMPLETED IN DECEMBER, 2025.

## **KEY NOTES:**

(A) ASPHALT PAVEMENT-STANDARD DUTY (SEE DETAIL)

(B) 6" CONCRETE SIDEWALK, FLUSH, TYP. (SEE DETAIL)

(c) 4" CONCRETE SIDEWALK, FLUSH, TYP. (SEE DETAIL)

(E) 4" BLUE PVMT. MARKING & SYMBOL PER ADA STANDARDS, TYP (SEE DETAIL)

(F)4" WHITE PAVEMENT MARKINGS, TYP

G LIGHT POLE (PER HOLLAND TOWNSHIP REQUIREMENTS)

(H) DUMPSTER PAD (SEE DETAIL)

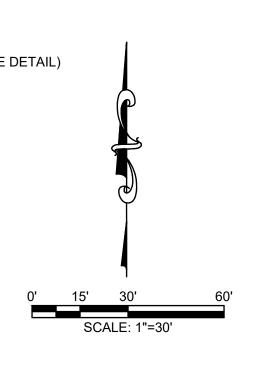
BARRIER FREE SIGN, VAN ACCESSIBLE WALL MOUNTED (SEE DETAIL)

(K) DIRECTIONAL ARROW, TYP. (SEE DETAIL)

(L) CHAIN LINK FENCE, TYP. (SEE DETAIL)

(M) EXTERIOR DOWNSPOUT CONNECTION.(SEE DETAIL)

N WALL MOUNTED TENANT SIGN, TYP



## **GENERAL NOTES:**

- 1. CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS REQUIRED.
- 2. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AUTHORITIES HAVING JURISDICTION.
- 3. CALL "MISS DIG", 811, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION.
- 4. EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON AVAILABLE RECORDS AND/OR TOPOGRAPHIC SURVEY DATA. THIS PLAN MAY NOT SHOW UTILITIES IN THEIR EXACT LOCATION AND
- MAY NOT SHOW ALL UTILITIES IN THE AREA. 5. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES AT ALL TIMES. ANY INTERRUPTION IN SERVICES TO THIS SITE OR ADJACENT SITES MUST BE SCHEDULED WITH THE OWNER, UTILITY PROVIDER, AND

AFFECTED PROPERTIES 48 HOURS PRIOR TO THE INTERRUPTION.

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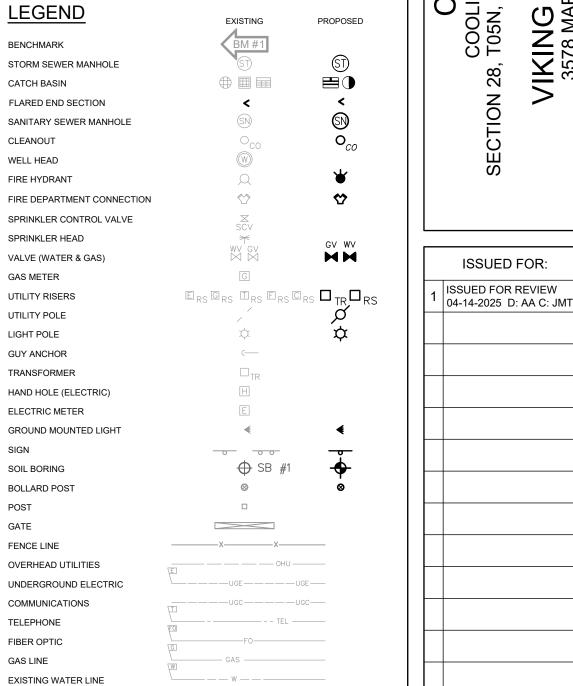
-FOR-TRUCTION

- 6. CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- 7. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION OF AFFECTED WORK TO DETERMINE COURSE OF ACTION.
- CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS ON OR ADJACENT TO THE PROJECT SITE.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING AND
- COORDINATING THEIR WORK WITH ALL UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
- 10. PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS.

## LAYOUT NOTES:

1. CONTRACTOR SHALL REVIEW AND VERIFY SITE LAYOUT PRIOR TO CONSTRUCTION.

- CONTRACTOR SHALL ENGAGE A LICENSED SURVEYOR TO PERFORM ALL CONSTRUCTION LAYOUT AND STAKING AS NECESSARY.
- ALL COORDINATE POINTS AND DIMENSIONS GIVEN, UNLESS OTHERWISE NOTED, ARE TO BACK OF CURB AND FACE OF BUILDING
- 4. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR BITUMINOUS



Project Manager: JOHN TENPAS Proiect # 2410277.1A

PLAN

Sheet Title:

C-101 4 of 8

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PROPOSED

CONCRETE SURFACE

CONCRETE SURFACE GRAVEL SURFACE

DECIDUOUS TREE ORNAMENTAL BUSH

EXISTING STORM SEWEI

EXISTING

PROPOSED

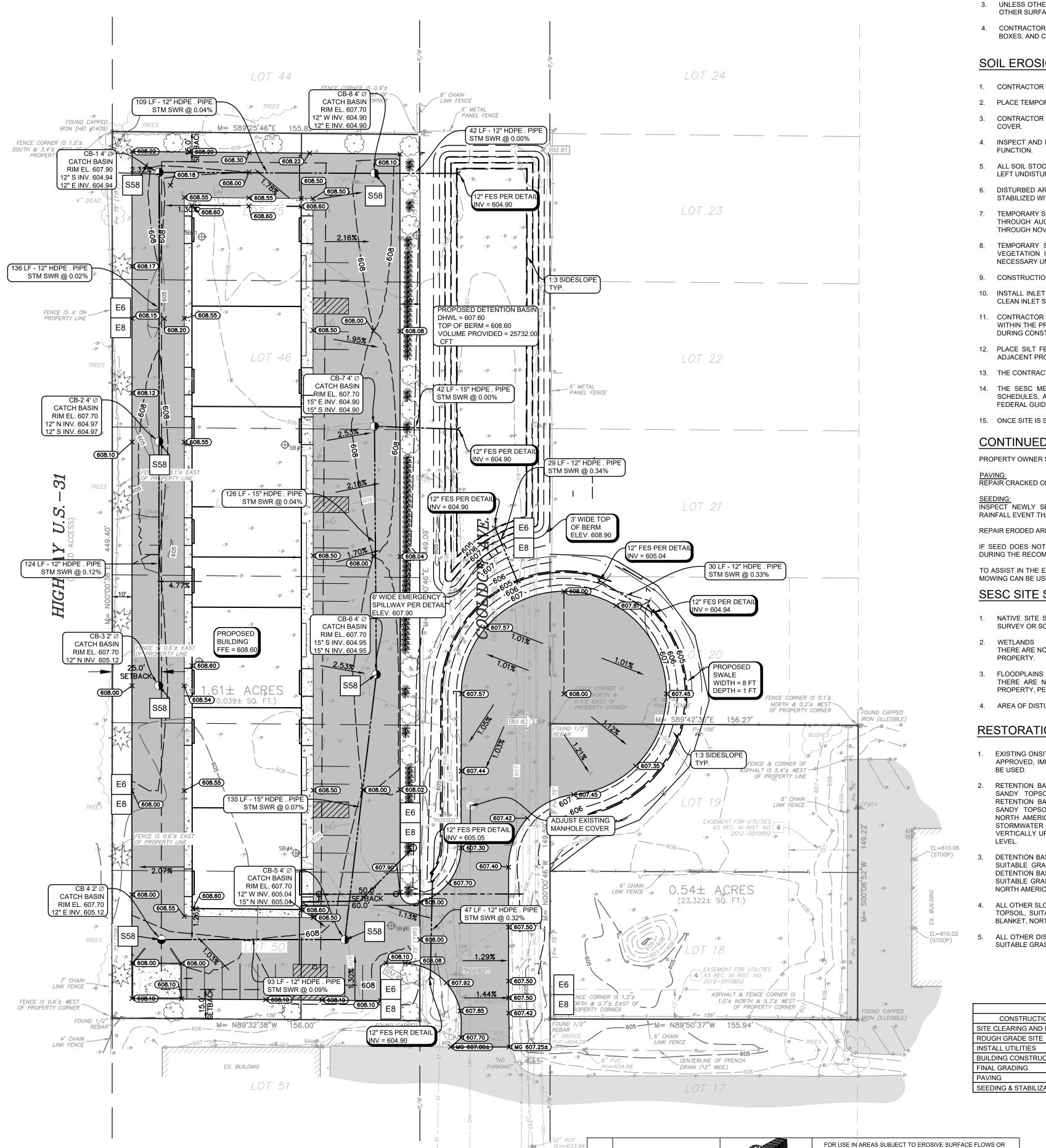
BITUMINOUS SURFACE

CONIFEROUS TREE

BITUMINOUS SURFACE

PROPOSED STORM SEWER EXISTING SANITARY SEWER

PROPOSED SANITARY SEWER



Know what's below

Call before you dig

## **GRADING NOTES:**

- 1. ALL SURFACES SHALL BE GRADED TO PROVIDE SMOOTH CONTOURING AND POSITIVE SLOPE AWAY FROM BUILDINGS, WITH NO PONDING OF WATER.
- 2. IN ALL AREAS OF NEW CONSTRUCTION, GRADING, OR MATERIAL STOCKPILE AREAS, STRIP AND STOCKPILE EXISTING TOPSOIL PRIOR TO OTHER CONSTRUCTION ACTIVITIES.
- 3. UNLESS OTHERWISE INDICATED, GRADES AND CONTOURS SHOWN REPRESENT FINISHED GRADE, AFTER PLACEMENT OF PAVEMENT, TOPSOIL, AND
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADJUSTMENT OF ALL EXISTING MANHOLES AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES, AND CLEAN-OUTS TO MEET FINISHED GRADE.

## SOIL EROSION & SEDIMENTATION CONTROL (SESC) NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE SESC PERMIT.
- 2. PLACE TEMPORARY SESC MEASURES AS INDICATED ON DRAWING PRIOR TO EARTH MOVING AND GRADING ACTIVITIES.
- 3. CONTRACTOR SHALL AVOID THE UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH
- 4. INSPECT AND MAINTAIN ALL TEMPORARY SESC MEASURES AFTER STORM EVENTS AND AS NECESSARY TO ASSURE PROPER
- 5. ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 7 DAYS SHALL HAVE PERIMETER SILT FENCE. ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
- 6. DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE AND PERMANENTLY STABILIZED WITHIN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
- 7. TEMPORARY SEEDING SHALL CONSIST OF OATS AND/OR BARLEY AT AN APPLICATION RATE OF 2.0 LBS/1000 SFT MINIMUM APRIL 1 THROUGH AUGUST 31, OR ANNUAL RYEGRASS AT AN APPLICATION RATE OF NOT LESS THAN 2.0 LBS/1000 SFT AUGUST 1 THROUGH NOVEMBER 15. IRRIGATE IF NECESSARY TO ESTABLISH TEMPORARY COVER.
- 8. TEMPORARY SESC MEASURES SHALL REMAIN IN PLACE UNTIL ALL PERMANENT SESC MEASURES ARE INSTALLED, AND VEGETATION IS UNIFORMLY ESTABLISHED. RE-GRADE, RE-SEED AND PLACE ADDITIONAL TOPSOIL IN ERODED AREAS AS NECESSARY UNTIL FINAL LANDSCAPING IS INSTALLED.
- 9. CONSTRUCTION OF SEDIMENT BASINS AND DIVERSION DITCHES SHALL BE COMPLETED PRIOR TO SITE CLEARING AND GRADING.
- 10. INSTALL INLET SEDIMENT TRAPS ("SILT SACK" OR EQUAL) IN ALL PROPOSED CATCHBASINS AS INDICATED ON THIS DRAWING. CLEAN INLET SEDIMENT TRAPS ON A WEEKLY BASIS AND AFTER RAIN EVENTS AS REQUIRED.
- 11. CONTRACTOR SHALL INSPECT AND CLEAN OUT ALL EXISTING AND PROPOSED STORM SEWER CATCHBASINS AND MANHOLES WITHIN THE PROJECT LIMITS, OR OUTSIDE THE PROJECT LIMITS IF SUBJECT TO CONSTRUCTION SITE RUNOFF, AS NECESSARY DURING CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE.
- 12. PLACE SILT FENCE ALONG DISTURBED AREAS WHERE SURFACE WATER WILL FLOW INTO EXISTING SWALES, DITCHES AND ADJACENT PROPERTIES. ANCHOR SILT FENCE TO PREVENT UNCONTROLLED RELEASE OF SILT LADEN WATER.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY SWEEPING OF TRACKED MATERIALS FROM ALL ROADWAYS.
- 14. THE SESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM MEASURES REQUIRED. DUE TO SITE ACTIVITIES AND SCHEDULES, ADDITIONAL MEASURES WILL LIKELY BE REQUIRED TO MAINTAIN SITE ACCORDING TO APPLICABLE STATE AND FEDERAL GUIDELINES AT NO ADDITIONAL COST TO THE OWNER.
- 15. ONCE SITE IS STABILIZED, ALL TEMPORARY SESC MEASURES SHALL BE REMOVED.

## CONTINUED MAINTENANCE OF PERMANENT SESC MEASURES:

PROPERTY OWNER SHALL BE RESPONSIBLE TO MAINTAIN PERMANENT SESC MEASURES.

## PAVING: REPAIR CRACKED OR DAMAGE PAVEMENT AS NEEDED.

SEEDING:
INSPECT NEWLY SEEDED AREAS SUBSEQUENT TO ANTICIPATED GERMINATION DATE AND AFTER EACH SIGNIFICANT RAINFALL EVENT THAT PRODUCES RUNOFF UNTIL AREAS ARE STABILIZED.

REPAIR ERODED AREAS, APPLYING SUPPLEMENTAL SEED, MULCH AND WATER AS NEEDED.

IF SEED DOES NOT ESTABLISH, CONDUCT SOIL TESTS, AMEND SOILS AS NEEDED, AND REAPPLY SEED AND/OR MULCH DURING THE RECOMMENDED GROWING SEASON.

TO ASSIST IN THE ESTABLISHMENT OF NATIVE SPECIES REMOVE UNWANTED COMPETING VEGETATION IN THE FIRST YEAR. MOWING CAN BE USED PERIODICALLY TO DISCOURAGE WEEDS.

## **SESC SITE SUMMARY:**

- 1. NATIVE SITE SOIL IS CLASSIFIED AS SANDY LOAM PER USDA WEB SOIL SURVEY OR SOIL BORINGS.
- THERE ARE NO KNOWN REGULATED WETLANDS ON THE SUBJECT
- PROPERTY.
- THERE ARE NO KNOWN REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY, PER FEMA FIRM MAP CN: 26139C0312E.
- 4. AREA OF DISTURBANCE: 2.15 ACRES

## **RESTORATION NOTES**

SEVERE WIND OR ON NEWLY SEEDED AREAS.

STABILIZATION METHOD UTILIZED ON SITES WHERE EARTH

CHANGE HAS BEEN COMPLETED (FINAL GRADING ATTAINED).

USE AT STORMWATER INLETS, ESPECIALLY AT CONSTRUCTION

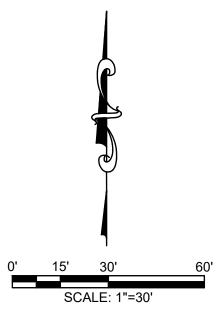
MULCH

PERMANENT SEEDING

INLET PROTECTION FABRIC

- EXISTING ONSITE TOPSOIL MAY BE USED IF APPROVED BY ENGINEER. IF NOT APPROVED, IMPORTED TOPSOIL MEETING PROJECT SPECIFICATIONS SHALL
- 2. RETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 3" OF LOOSE SANDY TOPSOIL, SEED, FERTILIZER, AND MULCH ON BASIN BOTTOM. RETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 3" OF LOOSE SANDY TOPSOIL, SEED, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL. SEED MIX SHALL BE JFNEW STORMWATER SEED MIX OR EQUAL ON BASIN BOTTOM AND 2 FEET VERTICALLY UP SIDESLOPE, AND SUITABLE GRASS SEED MIX ABOVE 2 FOOT
- DETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH ON BASIN BOTTOM. DETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL.
- ALL OTHER SLOPES STEEPER THAN 1 ON 4 SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL.
- 5. ALL OTHER DISTURBED AREAS SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH.

			OPERATION TIME SCHEDULE - JULY 2025 - DEC 2025							
CONSTRUCTION SEQUENCE	MAR	APR	MAY	JUN	JUL	AUG	SEP	ОСТ	NOV	DEC
SITE CLEARING AND INSTALL CONTROLS										
ROUGH GRADE SITE										
INSTALL UTILITIES										
BUILDING CONSTRUCTION										
FINAL GRADING										
PAVING										
SEEDING & STABILIZATION										





XXX.XX FINISH GRADE ELEVATION

MG XXX.XX± MATCH EXISTING GRADE ELEVATION TC XXX.XX FINISH GRADE ELEVATION AT BACK OF CURB

FL XXX.XX FINISH GRADE ELEVATION AT FLOW LINE

TW XXX.XX± FINISH GRADE ELEVATION AT TOP OF WALL BW XXX.XX± X FINISH GRADE ELEVATION AT BOTTOM OF WALL AT GROUND

—-—- PROPOSED SWALE

----- PROPOSED MAJOR CONTOUR — — PROPOSED MINOR CONTOUR

—— EXISTING MAJOR CONTOUR

— — EXISTING MINOR CONTOUR

627.00 MINIMUM OPENING ELEV. (M.O.E.)

623.60 MINIMUM BASEMENT ELEV. (M.B.É.)					
<u>LEGEND</u>	EXISTING	PROPOSED			
BENCHMARK	BM #1				
STORM SEWER MANHOLE	ST	ST			
CATCH BASIN					
FLARED END SECTION	<	<			
SANITARY SEWER MANHOLE	(SN)	(SN)			

CLEANOUT WELL HEAD FIRE HYDRANT FIRE DEPARTMENT CONNECTION SPRINKLER CONTROL VALVE

SPRINKLER HEAD VALVE (WATER & GAS) ERS GRS TRS ERS ORS TR RO

GAS METER UTILITY POLE LIGHT POLE **GUY ANCHOR** TRANSFORMER

HAND HOLE (ELECTRIC) ELECTRIC METER GROUND MOUNTED LIGHT

SOIL BORING **BOLLARD POST** GATE

FENCE LINE OVERHEAD UTILITIES UNDERGROUND ELECT COMMUNICATIONS

TELEPHONE FIBER OPTIC GAS LINE EXISTING WATER LINE PROPOSED WATER LINE EXISTING STORM SEWER

PROPOSED STORM SEWER EXISTING SANITARY SEWER PROPOSED SANITARY SEWER EXISTING CONCRETE SURFACE GRAVEL SURFACE BITUMINOUS SURFACE

PROPOSED BITUMINOUS SURFACE **CONIFEROUS TREE** 

DECIDUOUS TREE ORNAMENTAL BUSH

PROPOSED

CONCRETE SURFACE

Δ . .

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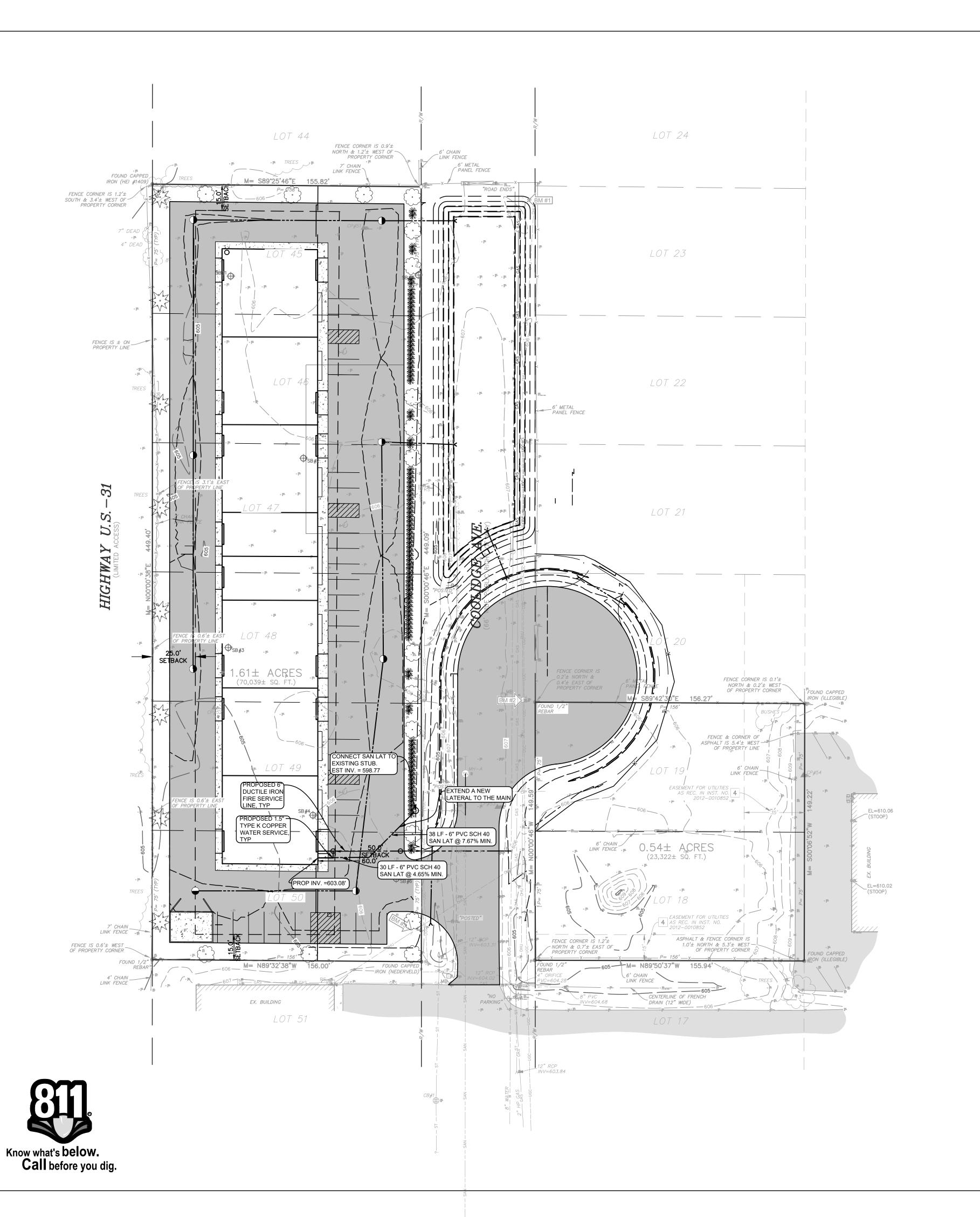
→ SB #1

Project Manager: JOHN TENPAS

Proiect #

2410277.1A Sheet Title: STORM SEWER, **GRADING AND** SOIL EROSION CONTROL PLAN

5 of 8



## **UTILITY NOTES:**

- 1. CONTRACTOR SHALL OBTAIN CONNECTION PERMIT PRIOR TO INSTALLATION OF ANY PRIVATE WATER, SANITARY, OR STORM CONNECTIONS TO PUBLIC MAIN.
- 2. CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED FOR ANY PROPOSED PUBLIC WATER MAIN, SANITARY SEWER, OR STORM SEWER. CONTRACTOR SHALL COORDINATE WITH MUNICIPALITY PRIOR TO CONSTRUCTION TO SCHEDULE PRE-CONSTRUCTION MEETING AND TO ENSURE COMPLIANCE WITH INSPECTION/TESTING REQUIREMENTS.
- 3. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR EXACT UTILITY CONNECTION LOCATIONS AT
- 4. ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
- 5. CONTRACTOR SHALL DOCUMENT, AND FURNISH TO OWNER AND ENGINEER, WITNESS DIMENSIONS FOR ALL UTILITY STUBS AND CONDUITS INSTALLED.
- 6. ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF AGGREGATE BASE.

xxx.xx FINISH GRADE ELEVATION

----- PROPOSED SWALE

----- PROPOSED MAJOR CONTOUR

— — PROPOSED MINOR CONTOUR

---- EXISTING MAJOR CONTOUR

— — EXISTING MINOR CONTOUR

627.00 MINIMUM OPENING ELEV. (M.O.E.) 623.60 MINIMUM BASEMENT ELEV. (M.B.E.)

TC XXX.XX FINISH GRADE ELEVATION AT BACK OF CURB FINISH GRADE ELEVATION AT FLOW LINE

BW XXX.XX± FINISH GRADE ELEVATION AT BOTTOM OF WALL AT GROUND

TW XXX.XX± X FINISH GRADE ELEVATION AT TOP OF WALL



GAS LINE

EXISTING WATER LINE

PROPOSED WATER LINE EXISTING STORM SEWER PROPOSED STORM SEWER

EXISTING SANITARY SEWER PROPOSED SANITARY SEWER EXISTING
CONCRETE SURFACE GRAVEL SURFACE EXISTING BITUMINOUS SURFACE PROPOSED PROPOSED CONCRETE SURFACE <sup>Δ</sup> . . . ✓ <sup>Δ</sup> . CONIFEROUS TREE DECIDUOUS TREE ORNAMENTAL BUSH

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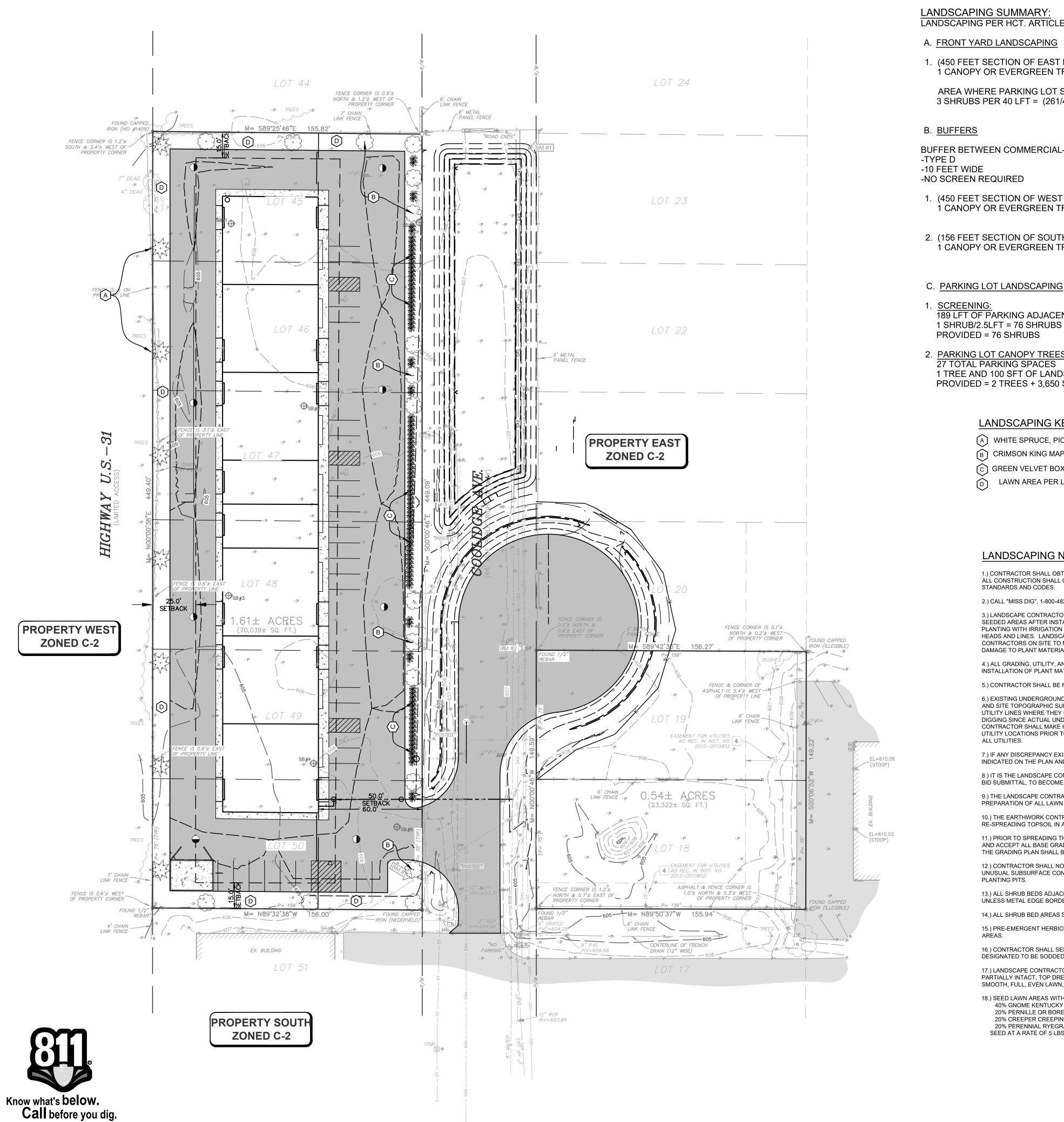
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Project Manager: JOHN TENPAS Project # 2410277.1A

> UTILITY PLAN

Sheet Title:

6 of 8



## LANDSCAPING SUMMARY: LANDSCAPING PER HCT. ARTICLE 11

## A. FRONT YARD LANDSCAPING

		REQUIRED	PROVIDE
1.	(450 FEET SECTION OF EAST PROP. LINE, AREA DISTURBED) 1 CANOPY OR EVERGREEN TREE PER 40 LFT = 450/40 =	11	11
	AREA WHERE PARKING LOT SCREENING IS NOT REQUIRED (261 LF 3 SHRUBS PER 40 LFT = (261/40)*3 =	Γ): 20	20

## B. <u>BUFFERS</u>

BUFFER BETWEEN COMMERCIAL-IMPROVED AND COMMERCIAL-IMPROVED

-10 FEET WIDE -NO SCREEN REQUIRED

1. (450 FEET SECTION OF WEST PROP. LINE) 1 CANOPY OR EVERGREEN TREE PER 60 LFT = 450/60 =

1 CANOPY OR EVERGREEN TREE PER 60 LFT = 156/60 =

REQUIRED PROVIDED 2. (156 FEET SECTION OF SOUTH PROP. LINE)

REQUIRED

PROVIDED

SCREENING: 189 LFT OF PARKING ADJACENT TO ROW 1 SHRUB/2.5LFT = 76 SHRUBS PROVIDED = 76 SHRUBS

2. PARKING LOT CANOPY TREES: 27 TOTAL PARKING SPACES

1 TREE AND 100 SFT OF LANDSCAPED AREA PER 12 SPACES = 2 TREES + 200 SFT OF LANDSCAPED AREA PROVIDED = 2 TREES + 3,650 SFT OF LANDSCAPED AREA

## LANDSCAPING KEY:

- (A) WHITE SPRUCE, PICEA GLAUCA, 6' HT (4 EA)
- B CRIMSON KING MAPLE, ACER PLATENOIDES 'CRIMSON KING', 2 1/2" CAL (2 EA)
- C GREEN VELVET BOXWOOD, BUXUS 'GREEN VELVET', 24" HT (26 EA @ 2.5' O.C.)
- LAWN AREA PER LANDSCAPING NOTES

## LANDSCAPING NOTES

1.) CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY, STATE, AND LOCAL

2.) CALL "MISS DIG", 1-800-482-7171, 72 HOURS PRIOR TO THE START OF ANY DIGGING. 3.) LANDSCAPE CONTRACTOR SHALL ENSURE PROPER WATERING OF PLANTED AND SÉEDED AREAS AFTER INSTALLATION. LANDSCAPE CONTRACTOR SHALL COORDINATE

PLANTING WITH IRRIGATION CONTRACTOR TO MINIMIZE CONFLICTS WITH SPRINKLER HEADS AND LINES. LANDSCAPE CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE TO MINIMIZE REDO OF COMPLETED LANDSCAPE WORK, AND DAMAGE TO PLANT MATERIAL.

4.) ALL GRADING, UTILITY, AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.

5.) CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN LAYOUT WORK.

6.) EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN DIGGING SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY TRENCHING AND VERIFY LOCATIONS AND DEPTHS OF

7.) IF ANY DISCREPANCY EXISTS BETWEEN THE QUANTITIES, SIZES OR MATERIALS INDICATED ON THE PLAN AND SHOWN IN THE PLANT LIST, THE PLAN SHALL GOVERN.

8.) IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID SUBMITTAL, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.

9.) THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.

10.) THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING AND RE-SPREADING TOPSOIL IN ALL TURF AND LANDSCAPE AREAS.

11.) PRIOR TO SPREADING THE TOPSOIL THE LANDSCAPE CONTRACTOR SHALL INSPECT AND ACCEPT ALL BASE GRADES. ANY DEVIATION FROM LINE AND GRADE INDICATED ON THE GRADING PLAN SHALL BE CORRECTED BEFORE PLACING ANY TOPSOIL.

12.) CONTRACTOR SHALL NOTIFY ENGINEER IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.

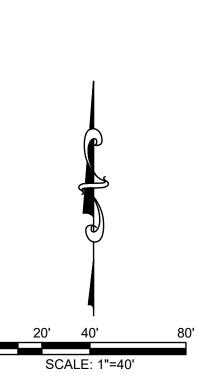
13.) ALL SHRUB BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, UNLESS METAL EDGE BORDER IS SPECIFIED.

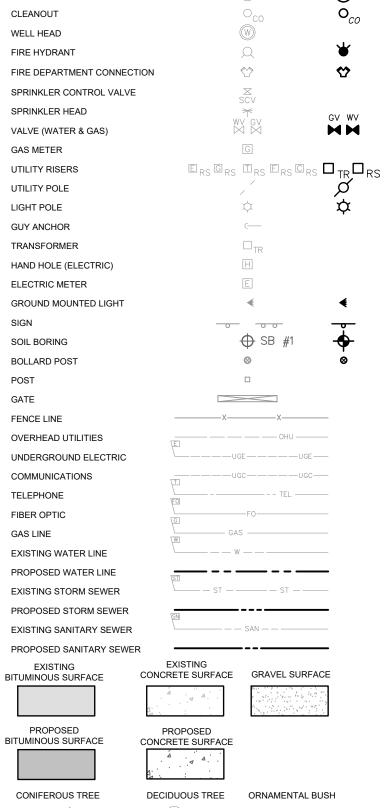
14.) ALL SHRUB BED AREAS SHALL HAVE A MINIMUM 3" LAYER OF LANDSCAPE MULCH. 15.) PRE-EMERGENT HERBICIDE SHALL BE USED UNDER MULCH IN ALL LARGE BED

16.) CONTRACTOR SHALL SEED ALL AREAS DISTURBED BY CONSTRUCTION NOT DESIGNATED TO BE SODDED.

17.) LANDSCAPE CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL. SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.

18.) SEED LAWN AREAS WITH COMMON SUNNY MIX GRASS SEED 40% GNOME KENTUCKY BLUEGRASS 20% PERNILLE OR BOREAL KENTUCKY BLUEGRASS 20% CREEPER CREEPING RED FESCUE 20% PERENNIAL RYEGRASS SEED AT A RATE OF 5 LBS. PER 1,000 SFT.





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<u>LEGEND</u>

STORM SEWER MANHOLE

FLARED END SECTION

SANITARY SEWER MANHOLE

BENCHMARK

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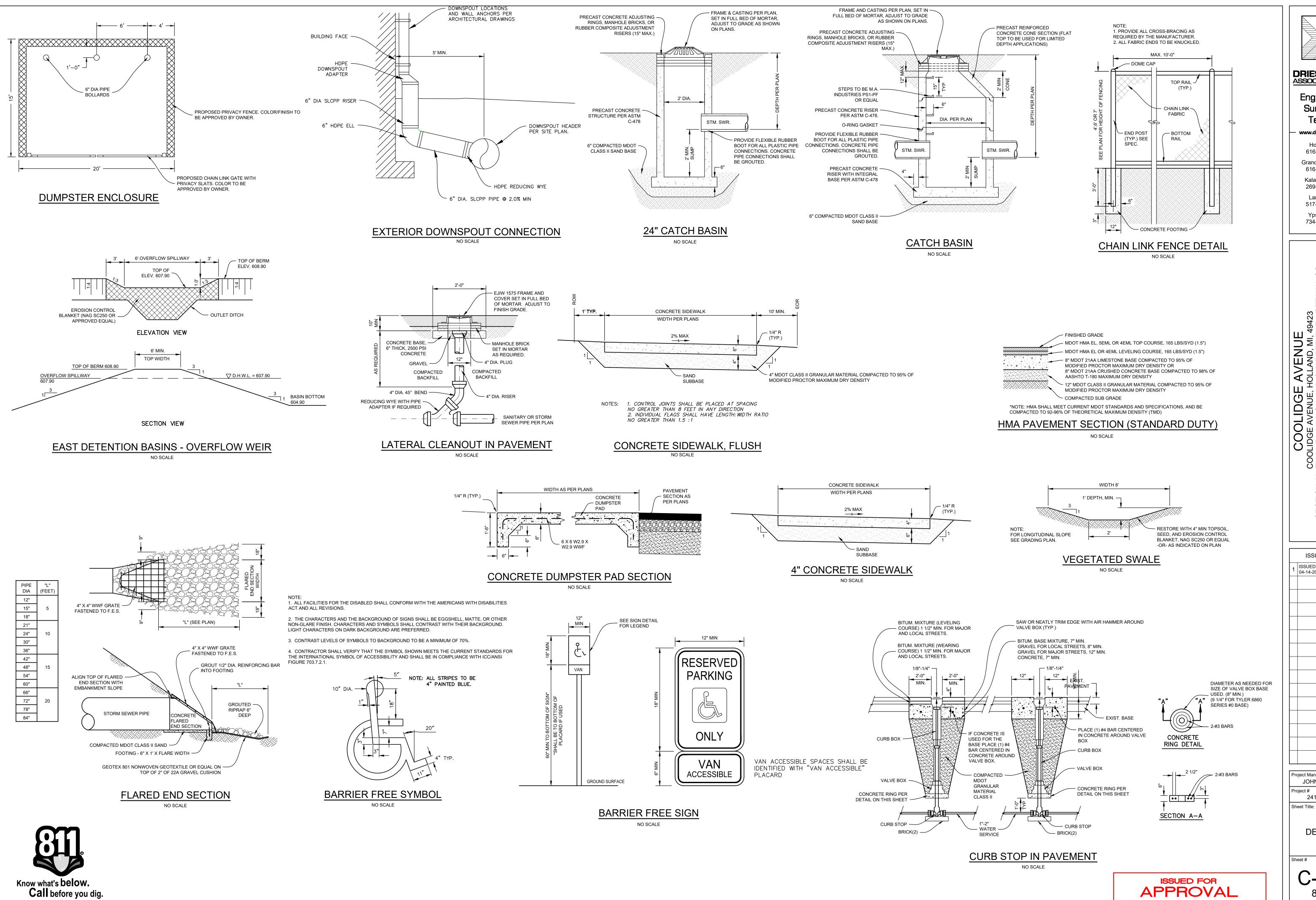
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Project Manager: JOHN TENPAS Proiect # 2410277.1A Sheet Title:

LANDSCAPE PLAN

7 of 8



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DETAILS

2410277.1A

C-501 8 of 8

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# Schematic Design



Residential-Commercial-Design/Build

	No.	Revision/Issue	Date	
	I	Site Plan Review	02/07/24	
	2	2 Site Plan Review		
	3	Internal Review	02/18/25	
	4	Township Review	03/31/25	

PROJECT: Coolidge Ave

DATE: 02/07/2024

> DRAWN BY: Lucas Ulberg

Scale: 3/32" = 1'-0"

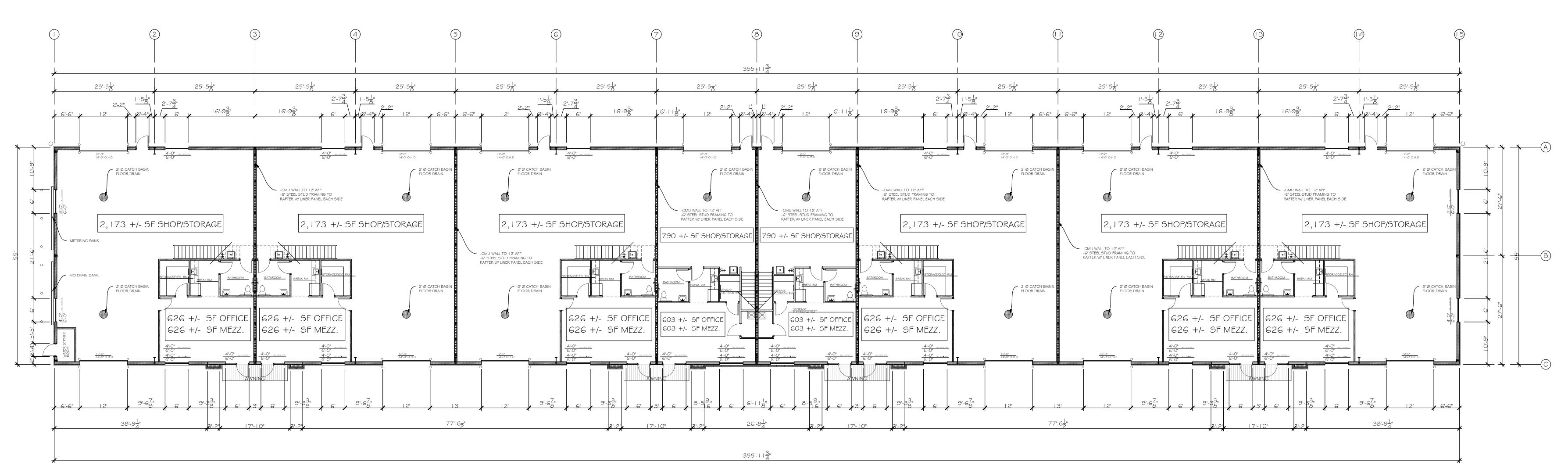
Sheet Name:

Overall Floor Plan

SHEET:

A. I

19,580 SF BUILDING FOOTPRINT 24,542 SF OVERALL W/ MEZZANINES





General Notes

## Coolidge Ave Schematic Design



	No.	Revision/Issue	Date			
	I	Site Plan Review	02/07/24			
	2	Site Plan Review	07/22/24			
	3	Internal Review	01/07/24			
	4	Township Review	03/31/25			
	PROJE	ECT:				

DATE: 02/07/2024

DRAWN BY: Lucas Ulberg

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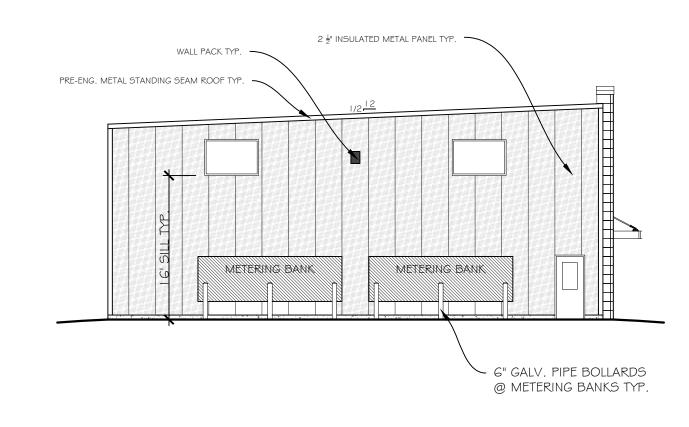
3/32" = 1'-0" Sheet Name:

Elevations

SHEET:

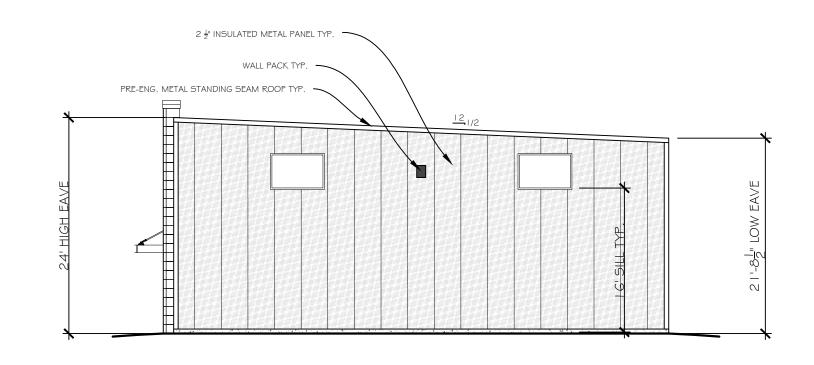
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SOUTH ELEVATION

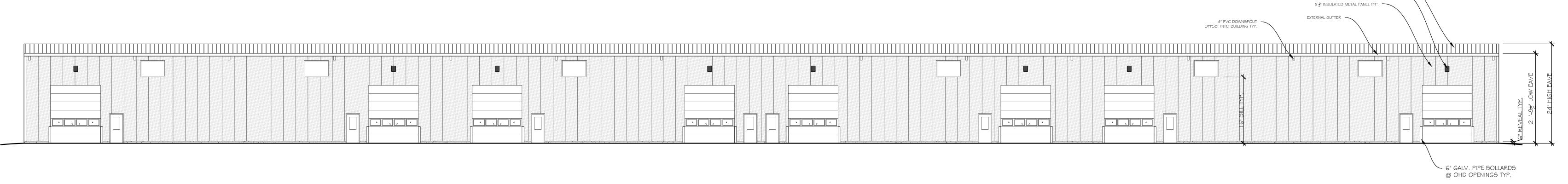
SCALE: 3/32"= 1'-0" (30"X42" PAPER SIZE)



NORTH ELEVATION

SCALE: 3/32"= 1'-0" (30"X42" PAPER SIZE)

SCALE: 3/32"= 1'-0" (30"X42" PAPER SIZE)



WEST ELEVATION

SCALE: 3/32"= 1'-0" (30"X42" PAPER SIZE)