



September 2, 2025

Mr. Corey Broersma
Assistant Community Development Director
Holland Charter Township
353 North 120th Ave.
Holland, MI 49424

RE: JDS Contractor Facility: Special Land Use / Site Plan Submittal
12830 Quincy Street
Holland Charter Township, Ottawa County, Michigan

Dear Mr. Broersma:

Enclosed please find the following items that are being submitted for review and approval of the special land use for the project. Note that it is our understanding that the site plan approval will be by township staff:

- Eleven (11) Copies of the Site Plan Set
- Special Use Approval Application
- Site Plan Approval Application
- Site Plan Checklist
- Project Narrative
- Drainage Calculations
- Review Fee Checks (\$350.00 for the Special Land Use plus \$100.00 for the Site Plan Review fee(staff))

Please review this information and place the project on the October 7 Planning Commission agenda.

If you have any questions or need additional information, please contact me at (616) 292-5953 or via email at switte@nederveld.com.

Sincerely,

Steve Witte, P.E.
Project Manager

Enclosures

K:\25201201\OUTGOING\SitePlanSubmittal\CoverLetter.CoreyB.doc

JDS Contractor Facility

12830 Quincy Street

Overview:

JDS, LLC, owns the vacant property located at 12830 Quincy Street. The property covers approximately 4.54 acres and is currently zoned I-2 General Industrial.

JDS is proposing to construct two new 23,360 sf +/- buildings that will be divided in to tenant space for contractors to lease. Therefore, the proposed use is considered to be a 'Contractor Facility', which requires Special Land Use approval. The building and site will be constructed in two phases, with the west building and the majority of the site work being constructed as Phase 1. The second, east building and the pavement within 20 ft +/- of the east building will be constructed as a Phase 2. Construction of Phase 1 will commence promptly pending approvals and permits. The Phase 2 building will be constructed based on demand for the tenant space.

The proposed Contractor Facility use fits in with the surrounding area. Note that Tractor Supply Company and their outdoor sales/display area is located to the immediate north of the site. Brenner Oil Company has their truck parking located to the immediate west of the site. And Chips Ground Cover, Grand Rapids Gravel, and similar uses are located in close proximity to the site.

The site will be accessed via a proposed new driveway off Quincy Street, with the new driveway lined up opposite the existing driveway to Tractor Supply Company. The driveway location and design is subject to the review, approval, and permitting through the Ottawa County Road Commission.

Sufficient parking spaces and truck turning areas are provided between the two proposed buildings and at the south end of the site.

Both buildings will be serviced by public sanitary sewer and public watermain. Both of these utilities are available in Quincy Street. The storm water runoff from the property will be collected and detained on-site per Ottawa County Water Resources Commission (OCWRC) standards. The drainage design is subject to the review and approval of OCWRC>

The buildings will primarily be metal sided buildings, with doors and building enhancements provided at each tenant space entrance. Each tenant space will be provided with an OH door, a main man door entrance, and a secondary/emergency door to the rear of the units. It is anticipated that the buildings will be approximately 24 ft tall.

Landscaping will be provided on the property as required by the township zoning ordinance.

BENCHMARKS

BENCHMARK #500 ELEV. = 626.92 (NAVD88)
Top of flange bolt on hydrant (under "E" in "EJW") located
33± N. of C/L Quincy St. & 12.5' ± W. of property line.

BENCHMARK #586 ELEV. = 624.88 (NAVD88)
Top of flange bolt on hydrant (under "W" in "EJW") located
33± N. of C/L Quincy St. & 20' ± W. of property line.

STRUCTURE INFORMATION

SAN MH #596	SAN MH (FROM PREVIOUS)
Rim Elev. = 625.90	12" INV. E. 613.99
12" INV. E. 613.12	12" INV. W. 613.99
12" INV. W. 613.12	

REMOVAL / DEMOLITION NOTES

- 1) THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS. THERE ARE EXISTING UNDERGROUND UTILITIES WHICH CROSS THE PROPOSED REPLACEMENT WORK AREAS. ALTHOUGH THEIR EXACT LOCATION CANNOT BE DETERMINED, IT IS KNOWN THESE UTILITIES ARE LOCATED WHERE DIGGING IS REQUIRED. THE CONTRACTOR SHALL CONDUCT THE REQUIRED EXCAVATION IN THESE AREAS WITH EXTREME CAUTION.
- 2) ALL EXISTING UTILITY INFORMATION SHOWN IS TAKEN FROM EXISTING RECORDS, AND FIELD VERIFIED WHERE ACCESSIBLE ONLY. INFORMATION OBTAINED FROM EXISTING RECORDS MAY NOT BE COMPLETE OR ACCURATE. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION AND CONDITION.
- 3) BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE CITY AND BY THE OWNER, REPRESENTATIVES OF THE CITY, THE OWNER AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF THE EXISTING SEWERS WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING UTILITIES AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS AND EXISTING VIDEO TAPES. RECORDS OF THE INSPECTIONS SHALL BE KEPT IN WRITING BY THE CONTRACTOR.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- 5) ALL EXISTING UTILITIES, SEWERS AND WATER LINES ARE TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES, MUNICIPALITIES AND AGENCIES BEFORE COMMENCING ANY WORK.
- 6) THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING POLES, OVERHEAD WIRES, UNDERGROUND UTILITIES, GUY WIRES, GAS LINES, ETC. ALL ADJUSTMENT OR RECONSTRUCTION WORK, EXCEPT FOR THOSE STRUCTURES OTHERWISE NOTED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR. EXISTING APPURTENANCES SUCH AS UTILITY POLES AND VALVES BOX SHALL NOT BE DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION.
- 7) THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.
- 8) ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY THE OWNER OR THEIR REPRESENTATIVES.
- 9) THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO ANYONE ELSE, INCLUDING THE CITY OR OWNER.
- 10) ASPHALT AREAS SHOWN TO BE SAWCUT AND REMOVED FULL DEPTH ARE ACTUAL FACE OF PROPOSED CURBS. IT WILL BE NECESSARY TO MAKE OFF-SET SAWCUTS TO PROVIDE CLEARANCE FOR PROPOSED CURBS. THE CONTRACTOR SHALL DETERMINE THE AMOUNT OF OFF-SET NECESSARY TO CONSTRUCT THE PROPOSED CURBS. ADDITIONAL CUTS MAY BE DESIRED TO FACILITATE THE REMOVAL OF THE EXISTING PAVEMENT, BUT THERE WILL BE NO EXTRA PAYMENT FOR ADDITIONAL CUTS. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE REMAINING PAVEMENT. IF ADJACENT PAVEMENT IS DAMAGED, THE CONTRACTOR SHALL MAKE ADDITIONAL FULL DEPTH SAWCUTS AND REMOVE THE DAMAGE AREAS AS NECESSARY.
- 11) ALL PAVEMENT REMOVAL AREAS SHALL BE FULL PAVEMENT CROSS-SECTION REMOVAL DOWN TO NATIVE SOIL LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- 12) ALL TREES AND VEGETATION WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.

REMOVAL / DEMOLITION NOTES

- 1) EXISTING UTILITY POLE SHALL BE RELOCATED AS NECESSARY FOR NEW DRIVEWAY APPROACH. CONTRACTOR SHALL COORDINATE WORK WITH UTILITY COMPANY, OCR, AND THE PROPERTY OWNER.
- 2) SAWCUT, REMOVE, AND REPLACE EX. QUINCY STREET PAVEMENT AND CURB AS NECESSARY FOR NEW WATER SERVICES. REPAIR/REPLACE WITH LIKE MATERIALS AS DIRECTED BY OCR.
- 3) SAWCUT, REMOVE, AND REPLACE EDGE OF EX ASPHALT AS NECESSARY TO PROVIDE SMOOTH TRANSITION BETWEEN EXISTING AND PROPOSED PAVEMENT.
- 4) REMOVE EXISTING TREES AND VEGETATION AS NECESSARY FOR CONSTRUCTION (TYP).

LEGAL DESCRIPTION

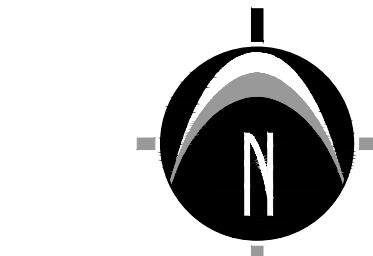
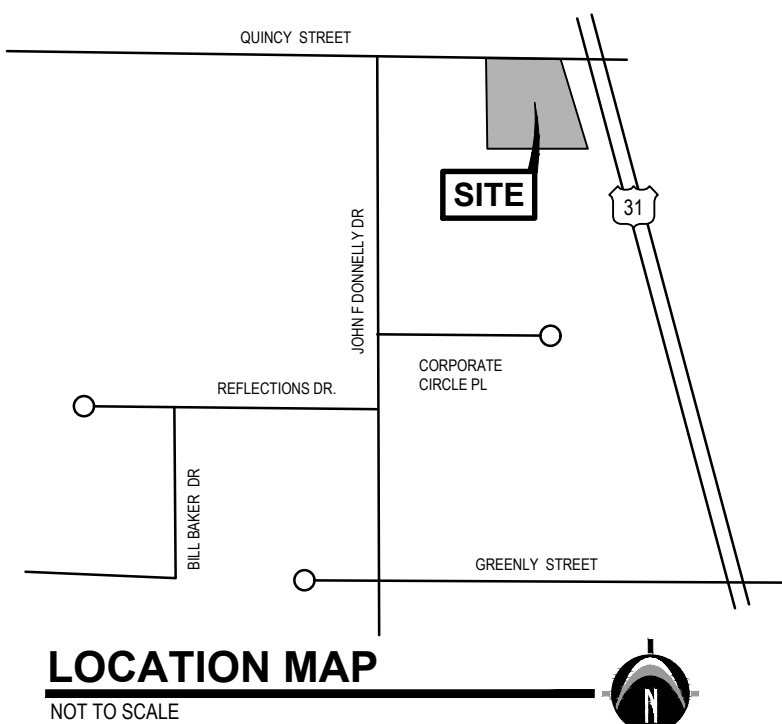
TAX DESCRIPTION: Part of the Northeast 1/4 of Section 8, Town 5 North, Range 15 West, Holland Township, Ottawa County, Michigan, described as: Commencing North 89 degrees 15 minutes 22 seconds West 321.56 feet from the Northeast Section corner, thence South 15 degrees 57 minutes 22 seconds East 469.82 feet along the Westerly right-of-way line of 128th Ave, North 89 degrees 15 minutes 22 seconds West 668.75 feet, North 00 degrees 44 minutes 38 seconds East 450 feet, thence South 89 degrees 15 minutes 22 seconds East 533.74 feet to the Place of Beginning, except the Westerly 150 feet.

SURVEYOR'S NOTES

- 1) Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 26139C, Panel Number 0305E, with an Effective Date of 12/16/2011, shows this parcel to be located in Zone "X" (subject to map scale uncertainty).
- 2) Source information from plans and markings has been combined with observed evidence of utilities to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- 3) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.

Land Planning — Landscape Architecture — Civil Engineering — Land Surveying — Reality Capture — Forensic Services

Experience . . . the Difference



0' 15' 30' 60'
SCALE: 1" = 30'

LEGEND

- | | |
|------|--------------------------|
| △ | Control Point/ Benchmark |
| □ | Cable Riser |
| ⊗ | Culvert |
| □ | Electric Riser |
| ○ | Iron-Found |
| ⊗ | Miss Dig Flag - Sanitary |
| ⊗ | Utility Pole |
| ○ | Sign |
| ⊗ | Sanitary Manhole |
| ⊗ | Utility Pole |
| — FO | Fiber Optic Line |
| — G | Gas Line |
| — OH | Overhead Utility |
| — SS | Sanitary |
| — ST | Storm Line |
| — W | Watermain |
| ■ | Asphalt |
| ▨ | Existing Building |
| ▩ | Concrete |

811 Know what's below.
CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANT" WERE OBTAINED FROM AVAILABLE "AS-BUILT" RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

NEDERVELD
www.nederveld.com
800.222.1868
GRAND RAPIDS
217 Grandville Ave., Suite 302
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ANN ARBOR
3037 Miller Rd.
Ann Arbor, MI 48103
Phone: 734.929.6963
HOLLAND
730 Chicago Dr.
Holland, MI 49423
Phone: 616.393.0449

PREPARED FOR:
Miedema Metal Building Systems, Inc.
Attention: Alex Miedema

3309 Hudson Trails Drive
Hudsonville, MI 49426
Phone: 616.896.1700

REVISIONS:

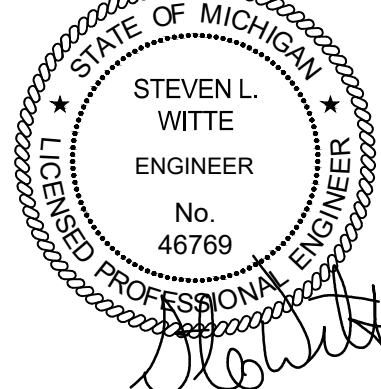
Title: Preliminary Plan	Drawn: SW	Checked: SW	Date: 09/05/25
Title: Site Plan	Drawn: SW	Checked: SW	Date: 09/08/25

12830 Quincy Street

Existing Conditions and Demolition Plan

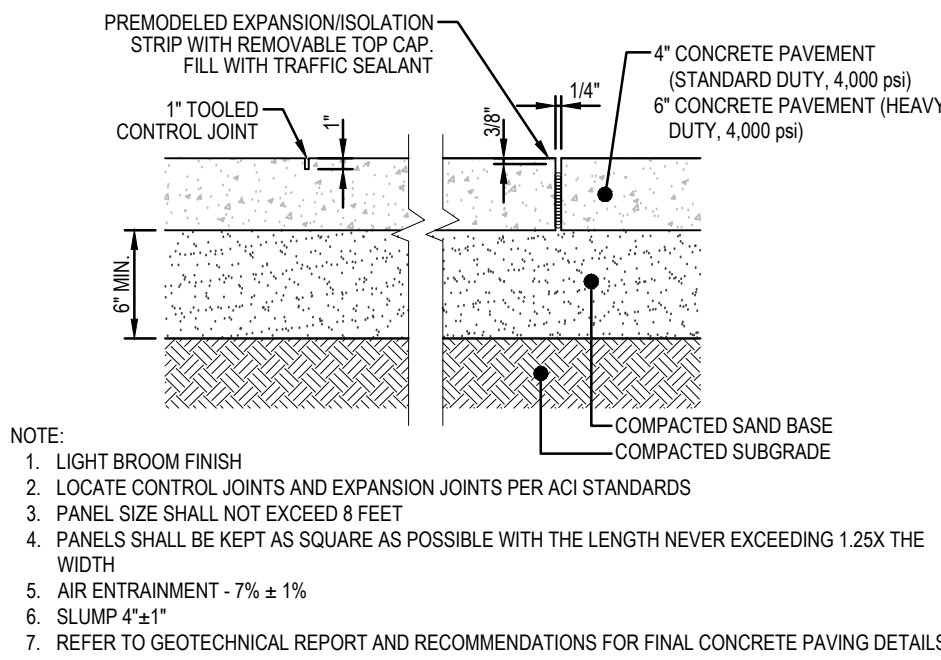
12830 Quincy Street
PART OF THE NORTHEAST 1/4 OF SECTION 8, T5N, R15W,
HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN

SEAL:



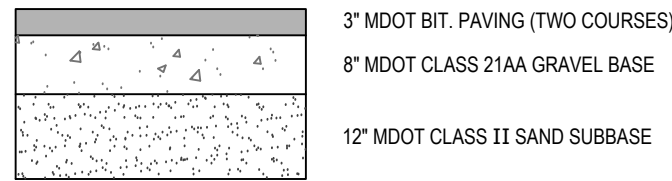
PROJECT NO:
25201201

SHEET NO:
C-201
1 OF 5



CONCRETE PAVEMENT DETAIL

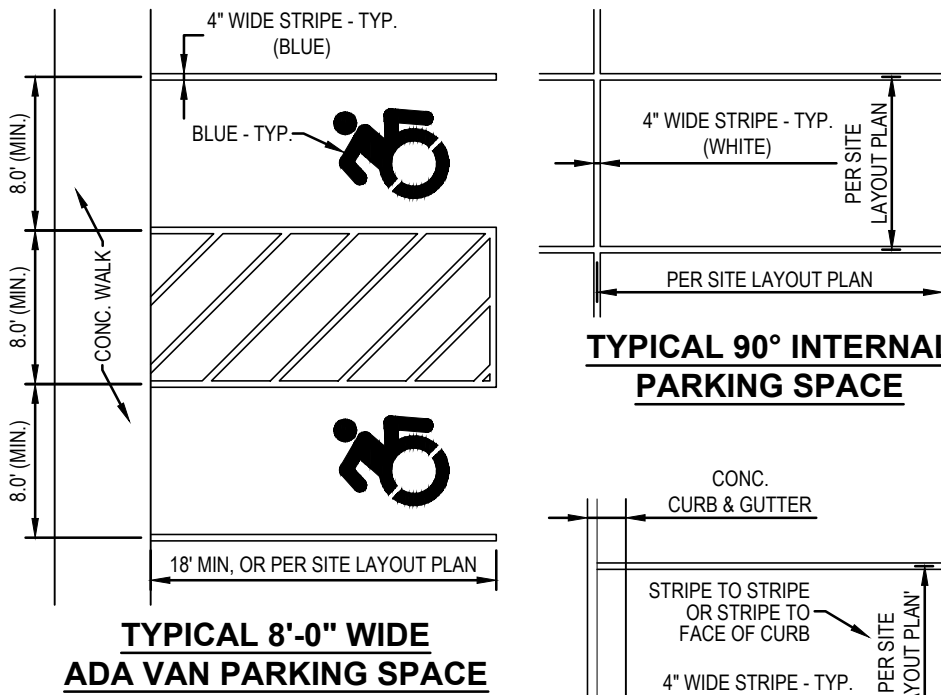
N.T.S.



- NOTE:
1. REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT DESIGN SPECIFICATION
 2. HMA MIXTURE TO BE TIER I OR TIER II
 3. BINDER GRADE TO BE A MINIMUM OF PG 58-28

STANDARD DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL

N.T.S.

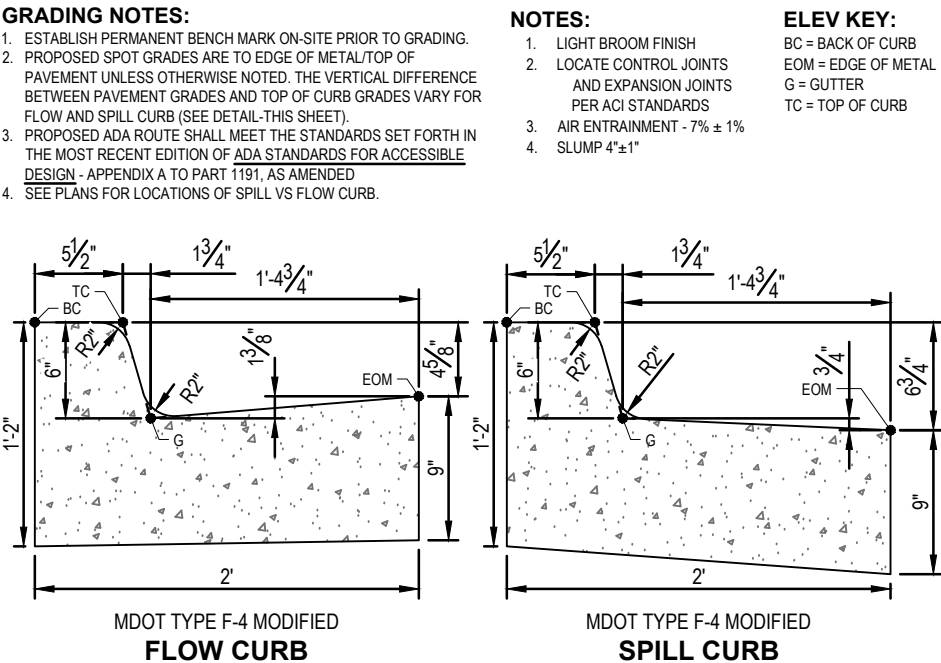


NOTE:

APPLY TWO COATS OF VOC COMPLIANT, M.D.O.T. APPROVED, UNDILUTED SOLVENT BASED, OR LATEX TRAFFIC PAINT TO ALL PAVEMENT MARKINGS. USE MANUFACTURERS RECOMMENDED APPLICATION RATE, WITHOUT ADDITION OF THINNER, WITH A MAXIMUM OF 100 SFT PER GALLON, OR MINIMUM 15 MILS WET FILM THICKNESS, AND 7.5 MILS DRY FILM THICKNESS PER COAT, WITH MINIMUM 30 DAYS BETWEEN APPLICATIONS. SECOND COAT MUST NOT BE APPLIED EARLIER THAN 7 DAYS BEFORE OCCUPANCY.

PARKING SPACE MARKING DETAILS

N.T.S.



24" CONCRETE CURB AND GUTTER DETAIL

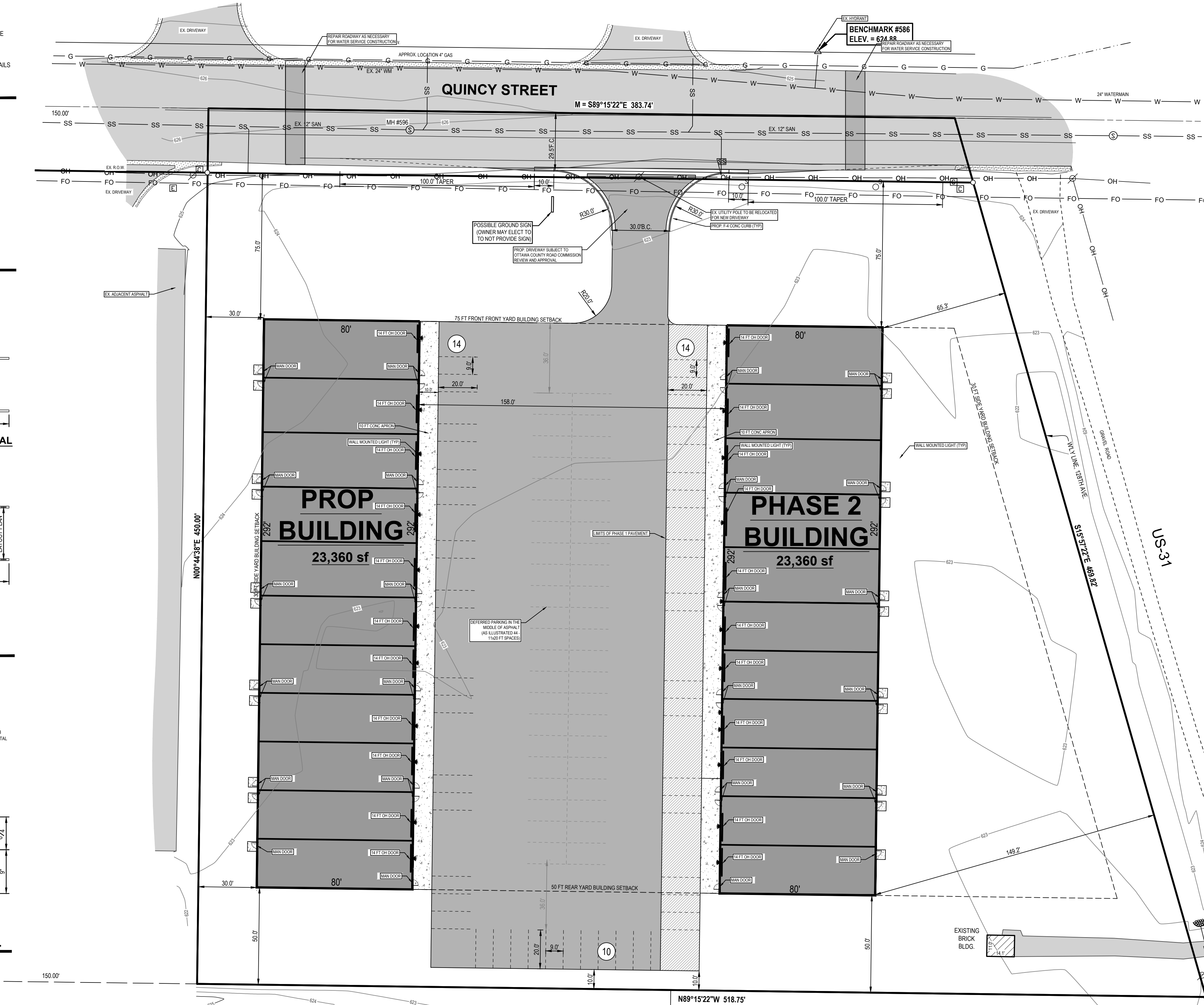
N.T.S.



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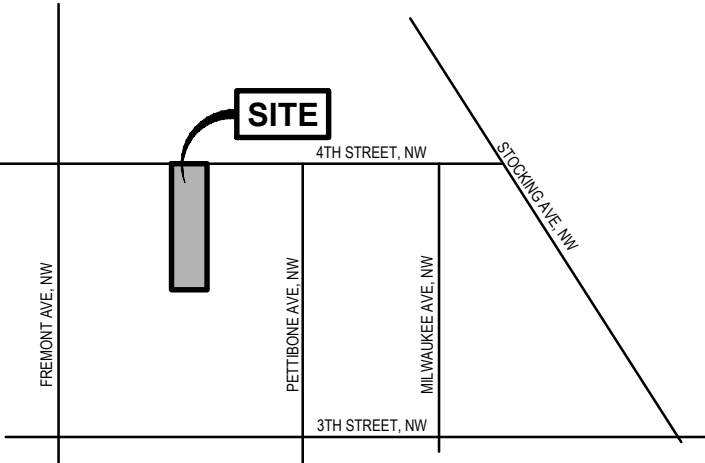
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



BENCHMARKS

BENCHMARK #500 ELEV. = 626.82 (NAVD88)
Top of flange bolt on hydrant (under "E" in "EJIW") located 33'± N. of C/L Quincy St. & 12.5' ± W. of property line.

BENCHMARK #586 ELEV. = 624.88 (NAVD88)
Top of flange bolt on hydrant (under "V" in "EJIW") located 33'± N. of C/L Quincy St. & 20' ± W. of property line.



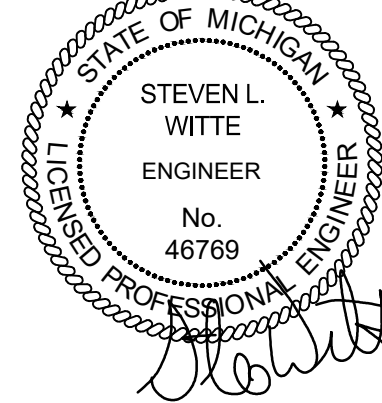
LEGEND

- EXISTING BITUMINOUS
- EXISTING CONCRETE
- PROPOSED BITUMINOUS
- PROPOSED CONCRETE
- PROPOSED BUILDING

GENERAL NOTES

- 1) ZONING OF PROPERTY: I-2 (GENERAL INDUSTRIAL)
- 2) SUMMARY OF LAND USE:
 - A) TOTAL ACREAGE = 4.66 ACRES (203,962 SF ±) (INCLUDING R.O.W.)
 - B) AREA OF PROPOSED BUILDING = 46,720 SF ±
 - C) BUILDING HEIGHT = 24 FT ±
 - D) LOT COVERAGE = 24.0% ±
 - E) PROPOSED NEW ON SITE ASPHALT/CONCRETE AREA = 54,350 SF ±
 - F) THE NEW BUILDINGS WILL BE USED AS CONTRACTOR UNITS.
 - G) ZONING OF SURROUNDING PARCELS: I-2 TO SOUTH, EAST, AND WEST C-2 TO NORTH
- 3) PARKING REQUIREMENTS:
 - A) MINIMUM REQUIRED PARKING SPACE PER TOWNSHIP = 9' x 18' (NO AISLE WIDTH SPECIFIED)
 - B) TYPICAL PARKING SPACE PROVIDED = 9' x 20' (24 FT AISLES)
 - C) TYPICAL BARRIER FREE SPACE = 8' x 20' (8 FT WIDE VAN ACCESSIBLE AISLES)
 - D) TOTAL NUMBER OF SPACES REQUIRED = 44 SPACES BASED ON:
 - OFFICE = 22 BASED ON 1 PER 300 SF OFFICE (200 SF/UNIT = 4,400 SF ±)
 - WAREHOUSING/STORAGE = 22 BASED ON 1 PER 2,000 SF (42,320 SF ±)
 - E) NUMBER OF SPACES PROVIDED = 44 (38 NORMAL, PLUS 1 IN FRONT OF EACH OH DOOR)
 - F) THERE IS ROOM FOR MORE PARKING IF IT BECOMES NECESSARY. NOTE THAT THE PLAN SHOWS AN ADDITIONAL 44 DEFERRED PARKING SPACES, AND MORE CAN BE ADDED ABOVE THAT NUMBER AS WELL.
 - G) MINIMUM ALLOWED PARKING SETBACKS:
 - FRONT YARD = 10 FT (TYPE C BUFFER)
 - SIDE AND REAR YARDS = 10 FT (TYPE C BUFFER)
- 4) THIS PROJECT IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS.
- 5) BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
- 6) SIGNS SHALL BE CONSTRUCTED TO THE STANDARDS SET FORTH BY ARTICLE 13 OF THE HOLLAND TOWNSHIP ZONING ORDINANCE. ANY NEW OR MODIFIED SIGNS MUST COMPLY WITH THE REQUIREMENTS THAT ARE IN PLACE AT THE TIME OF APPLICATION FOR A SIGN PERMIT, WITHOUT REGARD TO WHAT MAY OR MAY NOT BE SHOWN ON THE SITE PLAN REVIEW OR BUILDING PERMIT DRAWINGS. FREE-STANDING SIGN: ONE ALLOWED - GROUND SIGN. GROUND SIGN: MAXIMUM SIZE = 50 SF (OR 65 SF FOR 2-3 BUSINESSES, OR 80 SF FOR 4 OR MORE BUSINESSES). MAXIMUM HEIGHT = 8 FT. MINIMUM SETBACK = 10 FT. WALL-MOUNTED SIGN = 2% OF THE TOTAL WALL AREA.
- 7) UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
- 8) CONTRACTOR TO FIELD VERIFY ALL INVERTS.
- 9) ALL LIGHTING SHALL BE SHIELDED FROM ALL ADJACENT PROPERTIES. PROPOSED LIGHTING SHALL CONSIST OF WALL-MOUNTED LIGHTS FITTED WITH SHOEBOX TYPE FIXTURES. THE PROPOSED WALL MOUNTED LIGHTS MUST BE DIRECTED IN SUCH A WAY THAT NEIGHBORING PROPERTIES AND/OR TRAFFIC IS NOT ADVERSELY AFFECTED.
- 10) THE PERMANENT PARCEL NUMBER FOR THE SITE IS 70-16-08-200-038. THE ADDRESS OF THE PROPERTY IS 12830 QUINCY STREET.
- 11) THIS PARCEL IS CURRENTLY BEING VACANT, OTHER THAN A SMALL UTILITY BUILDING AT THE FAR SOUTHEAST CORNER OF THE SITE.
- 12) THE STORM WATER GENERATED FROM THE SITE WILL BE COLLECTED AND DETAINED PER OTTAWA COUNTY WATER RESOURCES COMMISSION STANDARDS.
- 13) NO FENCES OR WALLS OTHER THAN WHAT IS SHOWN ON THE SITE PLAN ARE PROPOSED AT THIS TIME.
- 14) THE SITE SOIL IS PRIMARILY GRANULY LOAM (SAND) (WEST END) AND RICHTER SANDY LOAM (EAST END), BASED ON THE SOIL SURVEY MAP.
- 15) THE PARKING AREA MUST BE FINISHED AND STRIPED PRIOR TO OCCUPANCY PERMIT.
- 16) ALL GROUND MOUNTED EQUIPMENT, INCLUDING GARBAGE CONTAINER ENCLOSURES, USED FOR PURPOSES SUCH AS HEATING, COOLING, COMPRESSED AIR, DUST COLLECTION, REFUSE COLLECTION, ETC. SHALL COMPLY WITH BUILDING SETBACKS IF OVER 30 INCHES IN HEIGHT.
- 17) NO DUMPSTER IS PROPOSED AT THIS TIME. TENANTS WILL KEEP TRASH BINS/DUMPSTER INSIDE THE UNITS UNTIL TRASH COLLECTION.
- 18) NO OUTDOOR STORAGE IS PROPOSED AT THIS TIME, OTHER THAN POTENTIALLY COMPANY VEHICLES.

SEAL:



PROJECT NO:

25201201

SHEET NO:

C-205

2 OF 5



www.nederveld.com

800.222.1868

GRAND RAPIDS

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HOLLAND

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Holland, MI 49423

Phone: 616.393.0449

PREPARED FOR:

Miedema Metal Building Systems, Inc.

Attention: Alex Miedema

3309 Hudson Trails Drive

Hudsonville, MI 49426

Phone: 616.896.1700

REVISIONS:

Title: Preliminary Plan

Drawn: SW

Checked: SW

Date: 09/05/25

Title: Site Plan

Drawn: SW

Checked: SW

Date: 09/08/25

12830 Quincy Street

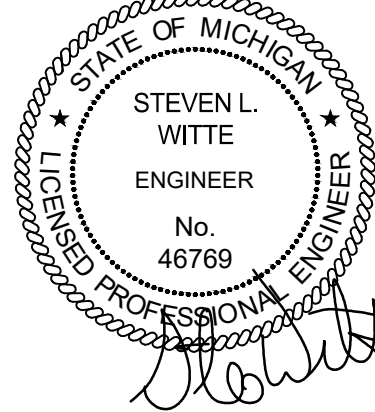
Preliminary Grading and S.E.S.C. Plan

12830 Quincy Street

PART OF THE NORTHEAST 1/4 OF SECTION 8, T5N, R15W,

HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN

SEAL:



PROJECT NO:

25201201

SHEET NO:

C-300

3 OF 5

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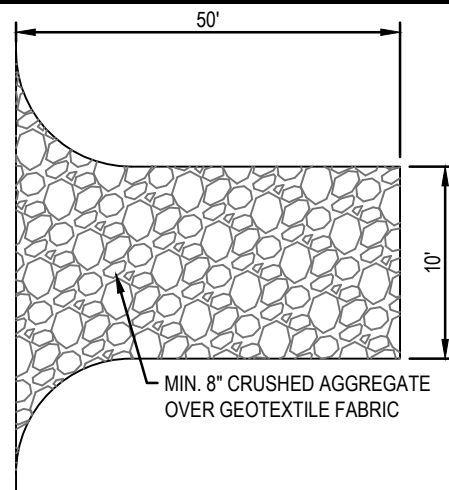


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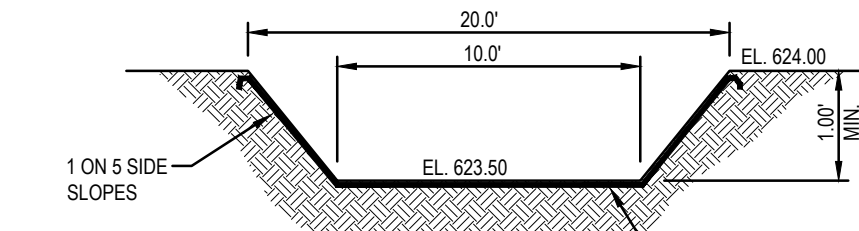
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PUBLIC ROAD



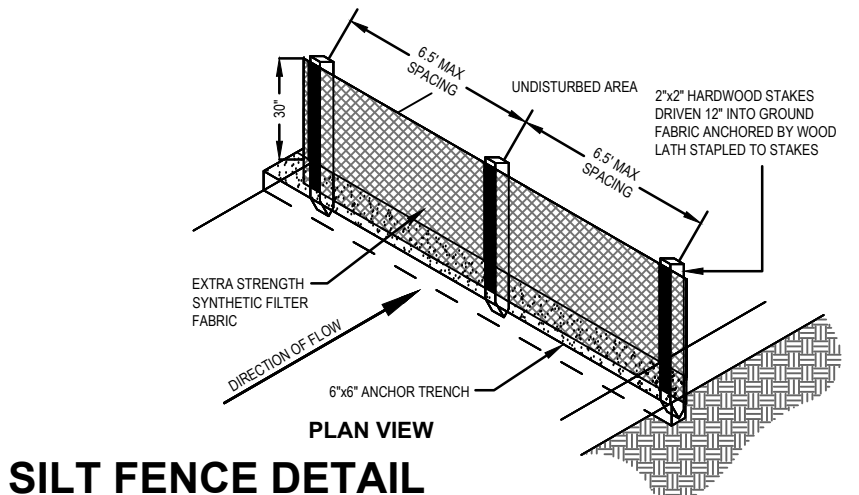
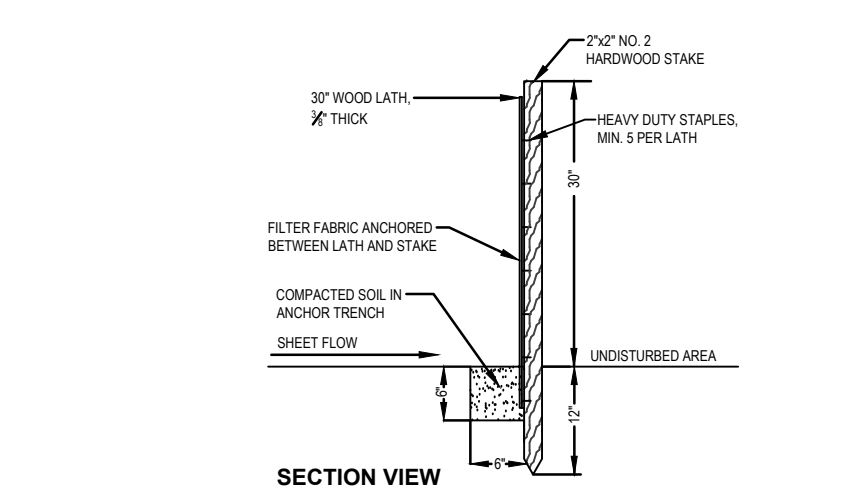
TEMPORARY CRUSHED ROCK TRACKING PAD

N.T.S.



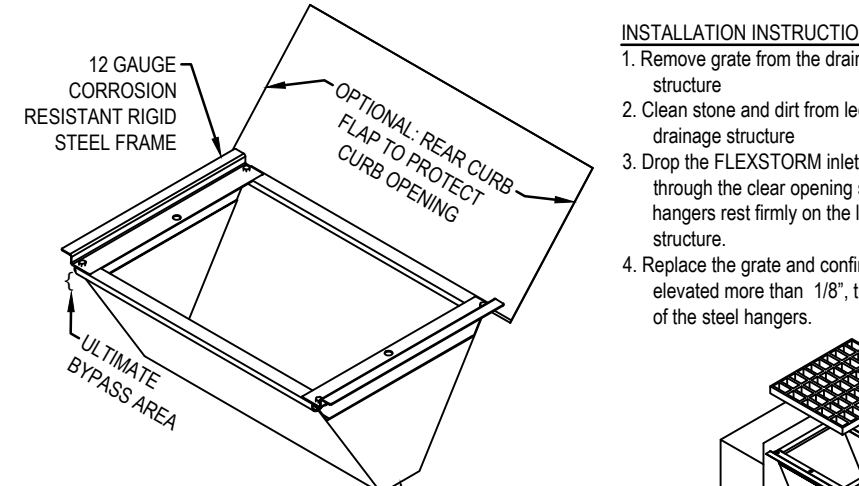
EMERGENCY SPILLWAY DETAIL

N.T.S.



SILT FENCE DETAIL

N.T.S.



MEETS ASTM D8057 STANDARDS

PRODUCT FEATURES:
-Rigid frame and removable geosynthetic bag
-Size to meet treatment flow rate
-Bag maintains shape to be extracted when completely filled with sediment
-Rigid frame capable of supporting full load of sediment without deforming
-Does not interfere or elevate grade by more than 1/8"
-Bypass flow exceeds design flow of drainage location
-Filter bag achieves +80% gross removal efficiency per ASTM D7351.

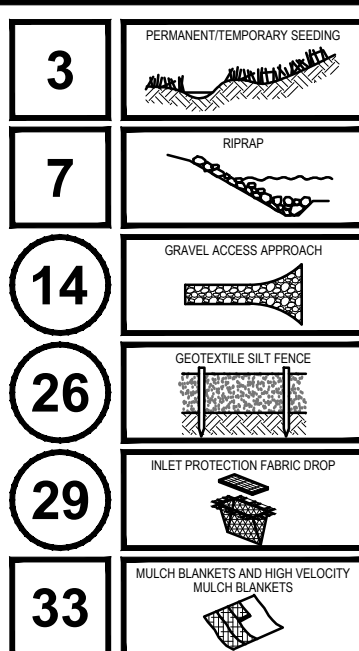
FLEXSTORM INLET FILTER LITE DETAIL

N.T.S.

SOIL EROSION CONTROL SCHEDULE	2025	2026
PLACE SILT FENCE		
STRIP & STOCKPILE TOPSOIL		
CONSTRUCT CONNECTION TO STORM SEWER		
ROUGH GRADE SITE		
CONSTRUCT BUILDING FOUNDATION AND BUILDING		
CONSTRUCT IMPROVEMENTS AROUND BUILDING		
CONSTRUCT UTILITY LINES TO BUILDING		
FINISH GRADE SITE		
PAVE SITE		
RESPREAD TOPSOIL/COMPACTION		
SEED DISTURBED AREAS		
SITE RESTORATION/CLEAN UP		

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (APRIL 2006) FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PROVIDED TO THE ENGINEER AND COUNTY SESC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SESC MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



○ TEMPORARY MEASURE
■ PERMANENT MEASURE
REFER TO MOST STANDARD PLAN R.16.0.



Know what's below.
CALL before you dig.

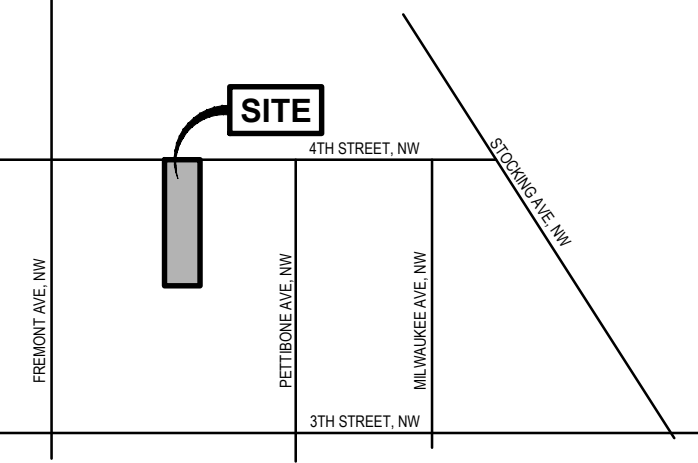
NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE OBTAINED FROM AVAILABLE "AS-BUILT" RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF EX. 24" WATERMAIN. NOTE THAT WATER SERVICE INSTALLATION OF 2" OR SMALLER SERVICES SHALL BE COORDINATED THROUGH HOLLAND TOWNSHIP. CONTRACTOR TO COORDINATE ALL WORK WITH HOLLAND TOWNSHIP AND OCRC.

CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND CONDITION OF EX. SANITARY SEWER SUBLATERAL AND SHALL SCOPE THE LINE TO VERIFY CONNECTION TO MAIN LINE SEWER PRIOR TO CONSTRUCTION. NOTE THE AS-BUILT PLAN IS NOT EXTREMELY CLEAR WHERE THIS LATERAL IS LOCATED (BLURRY).

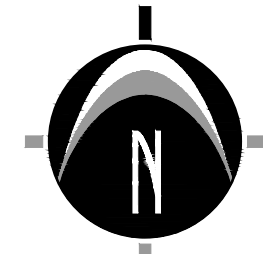
PHASE 2: CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND CONDITION OF EX. SANITARY SEWER SUBLATERAL AND SHALL SCOPE THE LINE TO VERIFY CONNECTION TO MAIN LINE SEWER PRIOR TO CONSTRUCTION.

PHASE 2: CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF EX. 24" WATERMAIN. NOTE THAT WATER SERVICE INSTALLATION OF 2" OR SMALLER SERVICES SHALL BE COORDINATED THROUGH HOLLAND TOWNSHIP. CONTRACTOR TO COORDINATE ALL WORK WITH HOLLAND TOWNSHIP AND OCRC.



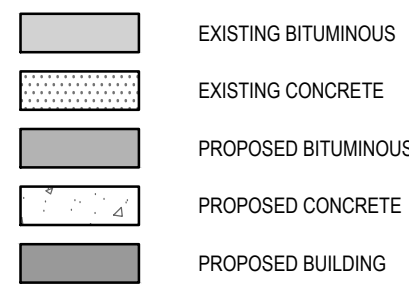
LOCATION MAP

NOT TO SCALE



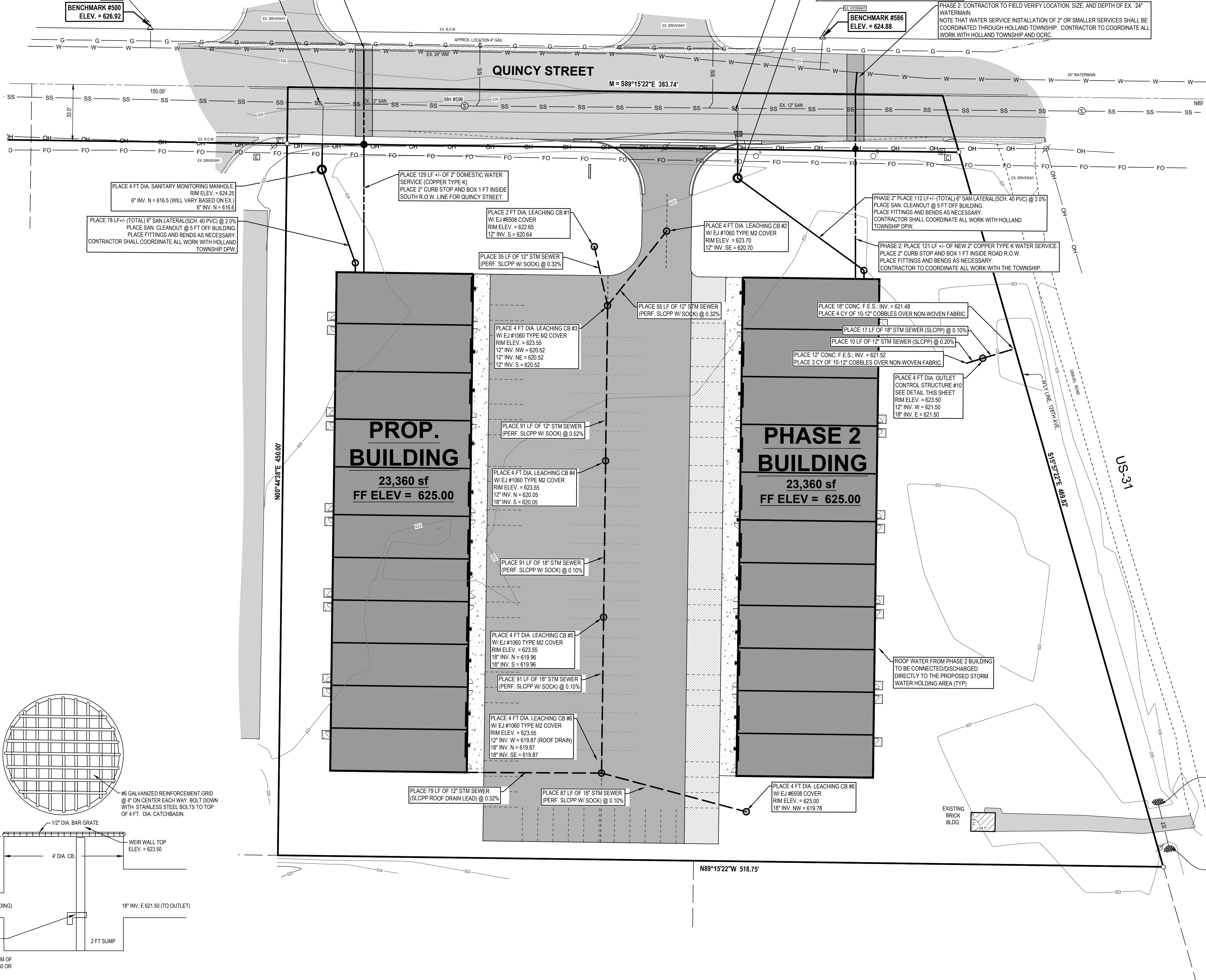
0' 15' 30' 60'
SCALE: 1" = 30'

LEGEND



CONSTRUCTION NOTES

- ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS INCLUDED FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE MDTT CONSTRUCTION AND MATERIALS SPECIFICATIONS (LATEST EDITION) AND THE ORDINANCES OF THE TOWNSHIP. WHERE CONFLICTS OCCUR IN THE ABOVE, THE TOWNSHIP SHALL BE THE GOVERNING AUTHORITY.
- VARIATION IN EXISTING SOIL CONDITIONS MAY IMPACT THE EARTHWORK QUANTITIES IF UNUSABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING WATER AND SEWERAGE SYSTEM RESULTING FROM NONCONFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE.
- ALL WORK, INCLUDING INSPECTIONS AND TESTING COST REQUIRED FOR REMOVAL, RELOCATION OR NEW CONSTRUCTION FOR PRIVATE OR PUBLIC UTILITIES, SHALL BE DONE BY AND AT THE EXPENSE OF THE CONTRACTOR AND INCLUDED IN THE BID PRICE FOR THE VARIOUS WORK ITEMS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL NECESSARY PERMITS FROM THE TOWNSHIP AND COUNTY AND ANY OTHER AGENCY FOR ALL WORK DONE BY THE CONTRACTOR.
- ANY DEFECTS IN THE CONSTRUCTION, INCLUDING MATERIALS OR WORKMANSHIP, SHALL BE REPLACED OR CORRECTED BY REMOVAL AND REPLACEMENT OR OTHER APPROVED METHODS PRIOR TO ACCEPTANCE BY THE TOWNSHIP OR OWNER WITHOUT ANY ADDITIONAL COST TO THE TOWNSHIP OR OWNER.
- ALL LAWN AREAS REMOVED OR DISTURBED SHALL BE REPLACED WITH TOPSOIL AND SOO WHERE NEEDED AND SHALL BE RESEEDED AND MULCHED IF SATISFACTORY RE-ESTABLISHMENT OF LAWN DOES NOT OCCUR.
- ALL PUNCH LIST AND DEFICIENCY WORK SHALL BE COMPLETED WITHIN 1 MONTH OF THE END OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FROM THE TOWNSHIP BEFORE BEGINNING WORK WITHIN ANY PUBLIC STREET RIGHT-OF-WAY.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES.
- THESE PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC FIELD LAYOUT. DIMENSIONS SHOWN ARE FOR GRAPHIC PRESENTATION ONLY AND SHOULD NOT BE USED FOR LAYOUT. CONTACT THE ENGINEER IF ANY DISCREPANCIES BETWEEN THE PLAN AND ELECTRONIC DATA ARE DISCOVERED.
- THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE REQUIRED WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES AS REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS. THE CONTRACTOR SHALL FURNISH, ERECT, MAINTAIN AND SUBSEQUENTLY REMOVE SUCH ADDITIONAL TRAFFIC CONTROL DEVICES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION AS ARE REQUIRED ON THOSE STREETS WHICH ARE USED AS DETOURS, INCLUDING "ROAD CLOSED" SIGNS AND BARRICADES AT THE POINT WHERE THE ROAD IS CLOSED TO THROUGH TRAFFIC.
- THE CONTRACTOR SHALL PROTECT LOCATION OF ALL PROPERTY PINS AND BENCHMARKS.
- ALL WORK CONTEMPLATED SHALL AT ALL TIMES BE SUBJECT TO THE DIRECT INSPECTION OF THE TOWNSHIP, OWNER AND THEIR REPRESENTATIVES. THE TOWNSHIP AND OWNER RESERVES THE RIGHT TO HALT ALL CONSTRUCTION ACTIVITY FOR NONCONFORMANCE OF PLANS, SPECIFICATIONS AND OTHER APPLICABLE STANDARDS OR REGULATIONS.
- PRICES BID PER FOOT FOR ALL PIPES IS COMPACTED IN PLACE REGARDLESS OF SOIL OR ROCK CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR ALL SIGNS, BARRIERS AND SAFETY DEVICES TO DETER PEOPLE FROM ENTERING THE WORK AREA AND FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROLS SHALL BE COORDINATED WITH THE POLICE DEPARTMENT AND THE TOWNSHIP.
- PRIOR TO ANY CONSTRUCTION OR GRADING, A PROTECTIVE BARRIER, FENCE, POST AND/OR SIGNS CLEARLY INDICATING LIMITS OF WORK/DISTURBANCE SHALL BE INSTALLED INDICATING NO TREE REMOVAL OR DISTURBANCES OUTSIDE LIMITS. THE TOWNSHIP AND OWNER SHALL BE CONTACTED UPON DETERMINATION OF LIMITS IN THE FIELD.
- ALL ROAD SURFACES, EASEMENTS OR RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENT ARE TO BE RESTORED COMPLETELY TO THE SATISFACTION OF THE TOWNSHIP AND THE OWNER.
- NO PARKING OF CONTRACTOR OR CONTRACTOR EMPLOYEE'S VEHICLES ON ANY PUBLIC STREETS SHALL BE PERMITTED.
- ALL DISTURBED SIGNS, GUARDRAILS, MAIL BOXES, AND DRIVEWAYS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE TOWNSHIP AND THE OWNER.
- DUST CONTROL: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY SUCH AS CALCIUM CHLORIDE, WATER OR A MOTORIZED DUST FREE STREET SWEEPING DEVICE TO MAINTAIN ALL ROADWAYS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL ORDINANCES OF THE TOWNSHIP, COUNTY, MDEQ OR ANY OTHER GOVERNING AUTHORITY.
- ALL SEWERS, MANHOLES, JUNCTION CHAMBERS AND INLET BASINS MUST BE CLEANED BEFORE ACCEPTANCE BY THE TOWNSHIP AND OWNER.
- IF AID, SOIL OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY OR AS REQUIRED DURING THE WORK DAY.
- ADJUST TO GRADE OR RECONSTRUCT TO GRADE WORK SHALL INCLUDE THE REMOVAL AND REPLACEMENT OF ANY EXISTING CONCRETE BLOCKOUT PAVEMENT, DAMAGED PAVEMENT DOVEELS OR OTHER SUCH LOAD TRANSFERS DEVICES SHALL BE REPLACED AS DIRECTED BY THE COUNTY AND THE ENGINEER.
- ALL EXISTING CASTINGS FOR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD CHECKED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REPAIR.
- COMPACTED PREMIUM BACKFILL (MDOT CLASS II SAND) WILL BE REQUIRED AT ALL FILL AREAS OR ANY STREETS WHERE REMOVAL AND REPLACEMENT OF PAVEMENT IS REQUIRED AND FOR ALL UNDERGROUND CONSTRUCTION UNDER ANY DRIVEWAY OR PAVEMENT INCLUDING THE 45 DEGREE ANGLE OF INFLUENCE FROM THE OUTSIDE EDGE OF PAVEMENT OR TOP OF CURB. COMPACTION TESTS SHALL BE REQUIRED EVERY 30 FEET UNDER PAVEMENT. PAVEMENT INCLUDES, BUT NOT LIMITED TO, ROADWAY SURFACES, SIDEWALKS, BIKEWAYS, DRIVEWAYS, SHOULDERS, BUILDINGS, ETC.
- NO BUILDING MATERIAL, EQUIPMENT, VEHICLES OR CHEMICALS SHALL BE STORED OR PLACED OUTSIDE LIMITS OF WORK/DISTURBANCE.
- STORMWATER POLLUTION PREVENTION ITEMS SHALL BE IN PLACE PRIOR TO COMMENCING CLEARING OPERATIONS, EARTHWORK GRADING, OR ANY OTHER TYPE OF CONSTRUCTION ACTIVITY.
- ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- CONSTRUCTION NOISE SHALL BE KEPT TO A MINIMUM DURING NIGHTTIME HOURS AND MUST COMPLY WITH MUNICIPAL CODE REQUIREMENTS.
- ALL TREES WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE TOWNSHIP DPW.
- PROCESS WATER MUST PASS THROUGH A 1,000 GALLON THREE-COMPARTMENT OIL INTERCEPTOR.
- A MONITORING MANHOLE SHALL BE PROVIDED ON SITE THROUGH WHICH ALL THE SEWER EFFLUENT IS DISCHARGED FROM THE SITE.
- ALL DRAIN CATCHBASINS SHALL HAVE A 2 FT SLUMP (TYP).



OUTLET STRUCTURE DETAIL (CB #10)

N.T.S.



www.nederveld.com
800.222.1868

GRAND RAPIDS

217 Grandville Ave., Suite 302
Grand Rapids, MI 49503
Phone: 616.575.5190

ANN ARBOR

3037 Miller Rd.
Ann Arbor, MI 48103
Phone: 734.929.6963

HOLLAND

730 Chicago Dr.
Holland, MI 49423
Phone: 616.393.0449

PREPARED FOR:

Miedema Metal Building Systems, Inc.
Attention: Alex Miedema

3309 Hudson Trails Drive
Hudsonville, MI 49426
Phone: 616.896.1700

REVISIONS:

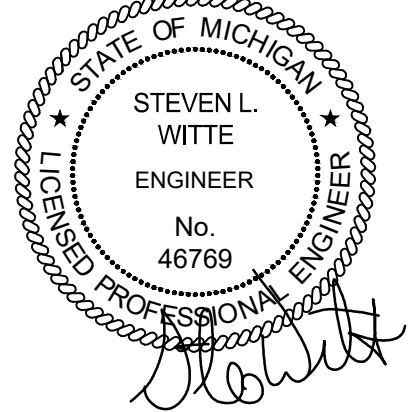
Title: Preliminary Plan	Checked: SW	Date: 09/05/25
Title: Site Plan	Checked: SW	Date: 09/08/25
Title: SW	Checked: SW	Date: 09/08/25

12830 Quincy Street

Preliminary Utility Plan

12830 Quincy Street
PART OF THE NORTHEAST 1/4 OF SECTION 8, T5N, R15W,
HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN

SEAL:



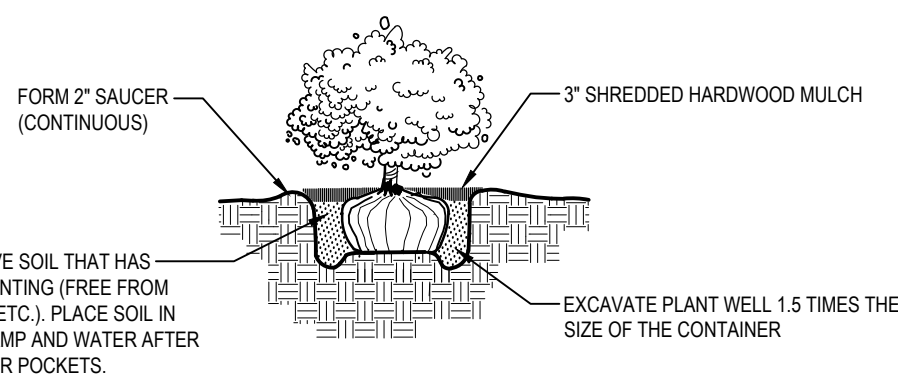
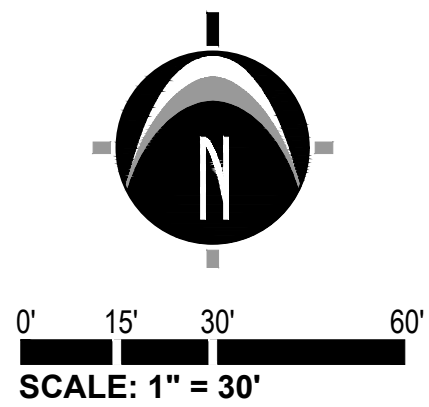
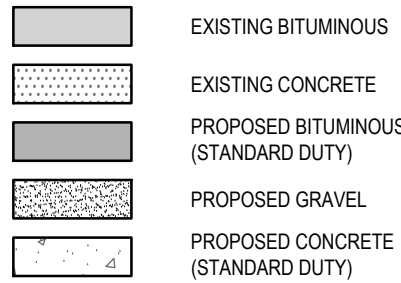
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25201201

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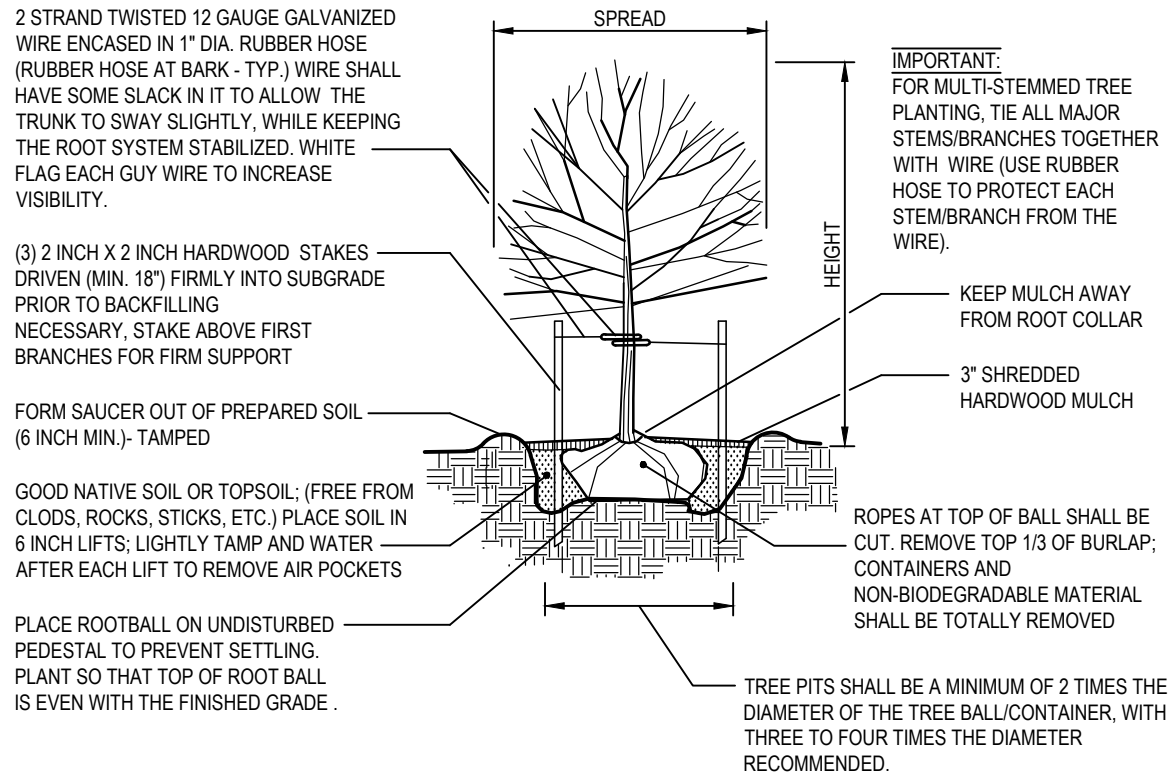
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4 OF 5



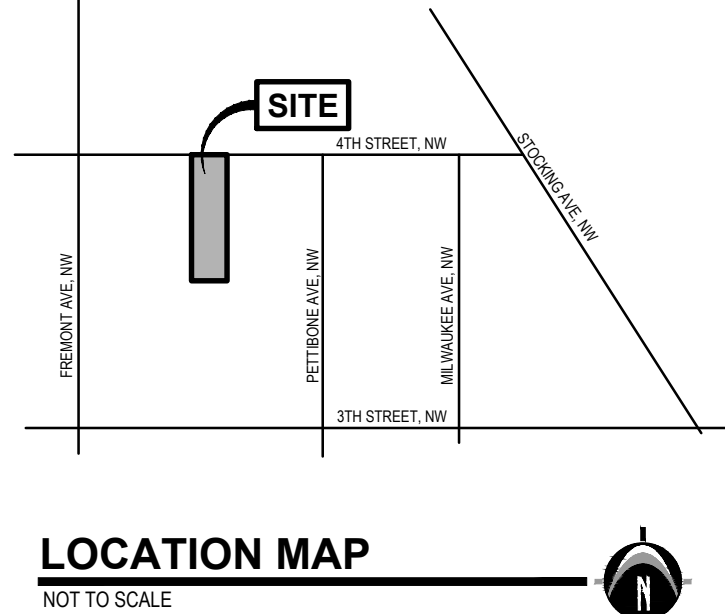
TYPICAL SHRUB / PERENNIAL / ORNAMENTAL GRASS PLANTING DETAIL

N.T.S.



TYPICAL TREE PLANTING DETAIL

N.T.S.



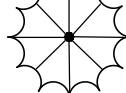




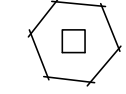

LANDSCAPE NOTES

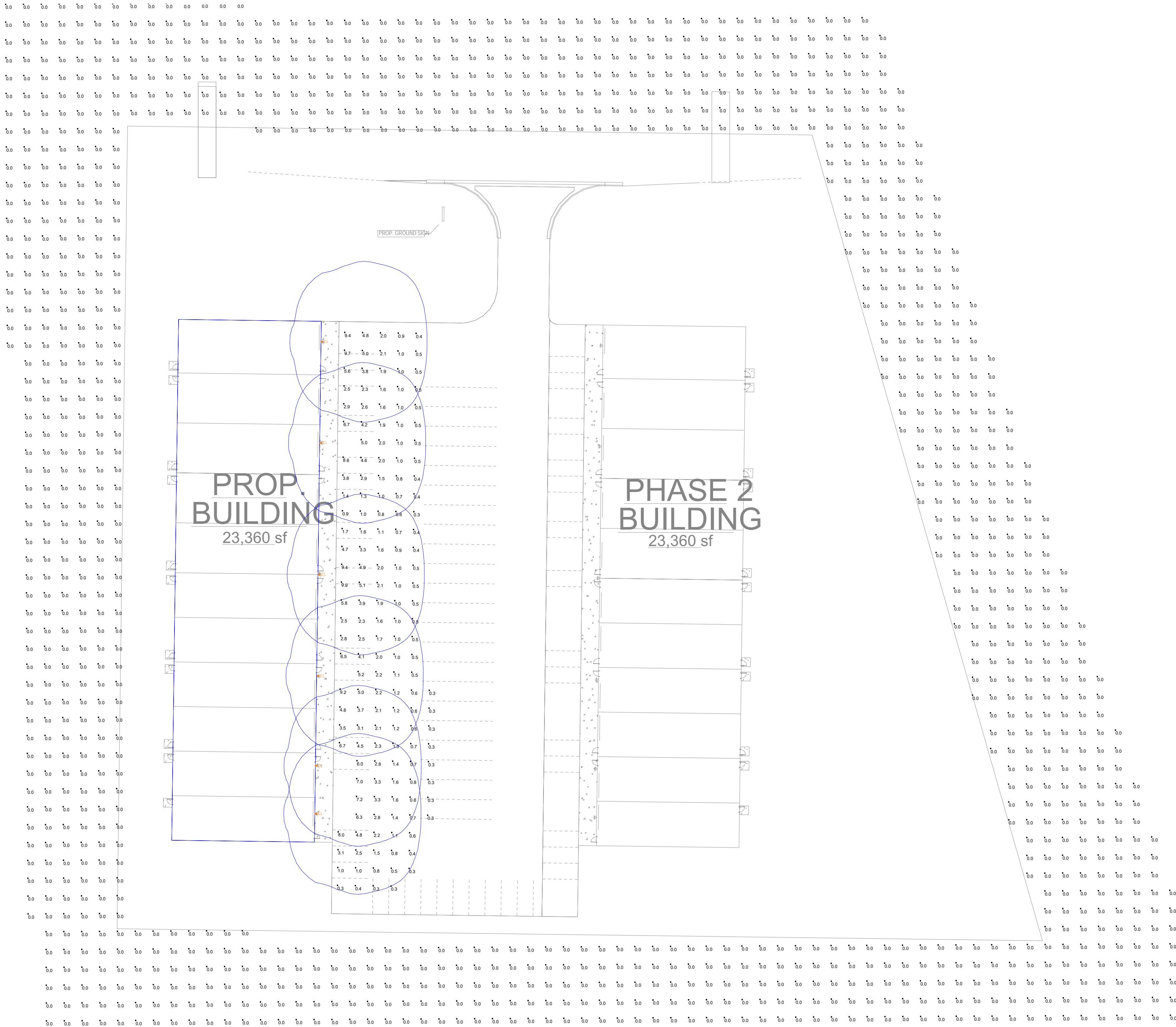
- 1) ALL PLANT MATERIAL SHALL BE LOCALLY NURSERY GROWN NO. 1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS (AAS) AND BE PLANTED IN ACCORDANCE WITH THE AAS. ALL PLANT MATERIALS SHALL BE INSTALLED BY THE LANDSCAPE ARCHITECT/RESIDENTS (NOT DIRECTED BY OWNER, LANDSCAPE ARCHITECT, AND/OR CONSTRUCTION MANAGER). THE LANDSCAPE ARCHITECT/RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
- 2) SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
- 3) ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- 4) MAINTENANCE OF LANDSCAPING ITEMS, TREES, AND PLANTS SHALL BE PERFORMED BY THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE STANDARD STANDARDS IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO.
- 5) PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER PLANTING. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS IN DEEPER PITS. PLANT TREES AND SHRUBS IN A NEAT, HEALTHY AND WEED FREE CONDITION.
- 6) REMOVE ALL TWINE, WEED, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
- 7) FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION. ALL PLANTING BEDS SHALL BE EDGED WITH 6" X 12 GAUGE STEEL LANDSCAPE EDGING.
- 8) LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXIST, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.
- 9) PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.

- 1) WHEREVER GROUND IN ITS NATURAL STATE HAS BEEN DISTURBED, APPROVED LANDSCAPING OR GRASS SHALL BE FULLY INSTALLED, AND ESTABLISHED WITHIN A REASONABLE PERIOD OF TIME, BUT NO LONGER THAN ONE GROWING SEASON AFTER THE END OF THE GROWING SEASON.
- 2) DURING EXCAVATION, GRADING, AND INSTALLATION OF REQUIRED LANDSCAPING, ALL SOIL EROSION AND SEDIMENTATION CONTROL REGULATIONS SHALL BE STRICTLY FOLLOWED AND COMPLIED WITH.
- 3) ALL LAWN AREAS SHALL RECEIVE SOO OR HYDROSEED. TURF SHALL BE INSTALLED ON TOPSOIL UNLESS APPROVED OTHERWISE. DO NOT PLANT UNTIL ACCEPTANCE OF FINISH GRADE.
- 4) SOO SHALL BE GROWN ON TOPSOIL UNLESS APPROVED OTHERWISE. SOO SHALL BE 2 YEARS OLD AND STRONGLY ROOTED. PLACE SOO TIGHTLY WITH NO GAPS AND WITH GRASS IN SAME DIRECTION. SEAMS OF SOO SHALL BE STAGGERED IN A MINIMUM OF 12" TO 18" WITH WATERED IMMEDIATELY 15-20 DAYS DURING GROWING SEASON. DO NOT INSTALL SOO UNTIL ACCEPTANCE OF FINISH GRADE AND IRRIGATION SYSTEM IS OPERATING PROPERLY UNLESS DIRECTED IN WRITING TO DO OTHERWISE. FINISH ROOT SOO WITH A WATER FILLED LAWN ROLLER, ROLL PERPENDICULAR TO LENGTH OF SOO.
- 5) TURF SHALL BE INSTALLED ON A MIN. OF 3" OF 1/4" LIGHTLY COMPACTED APPROVED TOPSOIL. TOPSOIL SHALL BE FERTILE, SCREENED, FRIABLE TOPSOIL FREE OF STONES 1/2" IN DIA. AND LARGER, ROOTS, STICKS, OR OTHER EXTRANEOUS MATERIALS. TURF SHALL BE 2 YEARS OLD, 100% GERM, 100% DIALS TO 50% PARTS PER PART, ORGANIC CONTENT 3% MIN. DO NOT INSTALL TOPSOIL UNLESS APPROVED BY OWNER/M. TOPSOIL SHALL BE FINE GRADED TO A SMOOTH FINISH, FREE OF LUMPS AND DEPRESSIONS.

1) ALL PLANTING AREAS, LAWN AREAS AND LANDSCAPE ISLANDS SHOWN ARE TO HAVE A COMPLETE IRRIGATION SYSTEM. THE G.C. SHALL BE RESPONSIBLE FOR RETAINING A QUALIFIED FIRM FOR THE DESIGN OF THE IRRIGATION SYSTEM. THE DESIGN MUST SHOW HOW THE SYSTEM TIES INTO THE BUILDING AND MUST SHOW ALL OF THE NECESSARY EQUIPMENT FOR A COMPLETE SYSTEM. THE G.C. SHALL SUBMIT THE IRRIGATION SYSTEM DESIGN TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

<u>SYMBOL</u>	<u>CODE</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>QTY</u>
---------------	-------------	-----------------------	--------------------	-------------	------------

TREES					
	Pg	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	6' min.	11
	Pc	<i>Pinus cembra</i>	Swiss Stone Pine	6' min.	7
	Cg	<i>Crataegus crus-galli</i>	Thornless Hawthorn	2' cal.	2
	Lt	<i>Liriodendron tulipifera</i>	Tulip Poplar Tree	2.5' cal.	6
	Ns	<i>Nyssa sylvatica</i>	Black Gum	2.5' cal.	4
SHRUBS					
	Jc	<i>Juniperus communis</i> var. <i>depressa</i>	Low-Growing Juniper	24" min.	15
	Vd	<i>Viburnum dentatum</i>	Arrowwood Viburnum	24" min.	14



PHOTOMETRIC PLAN

SCALE: NTS



CTA LIGHTING & CONTROLS
908C West River Center Dr
Comstock Park, MI 49321
616.647.2400
www.cta-lc.com

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION
Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.
This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Future nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR :



12830 QUINCY ST

SALES
QUOTES

DATE
9.8.2025

DESIGNER
J YONKERS

REVISIONS
DATE NAME

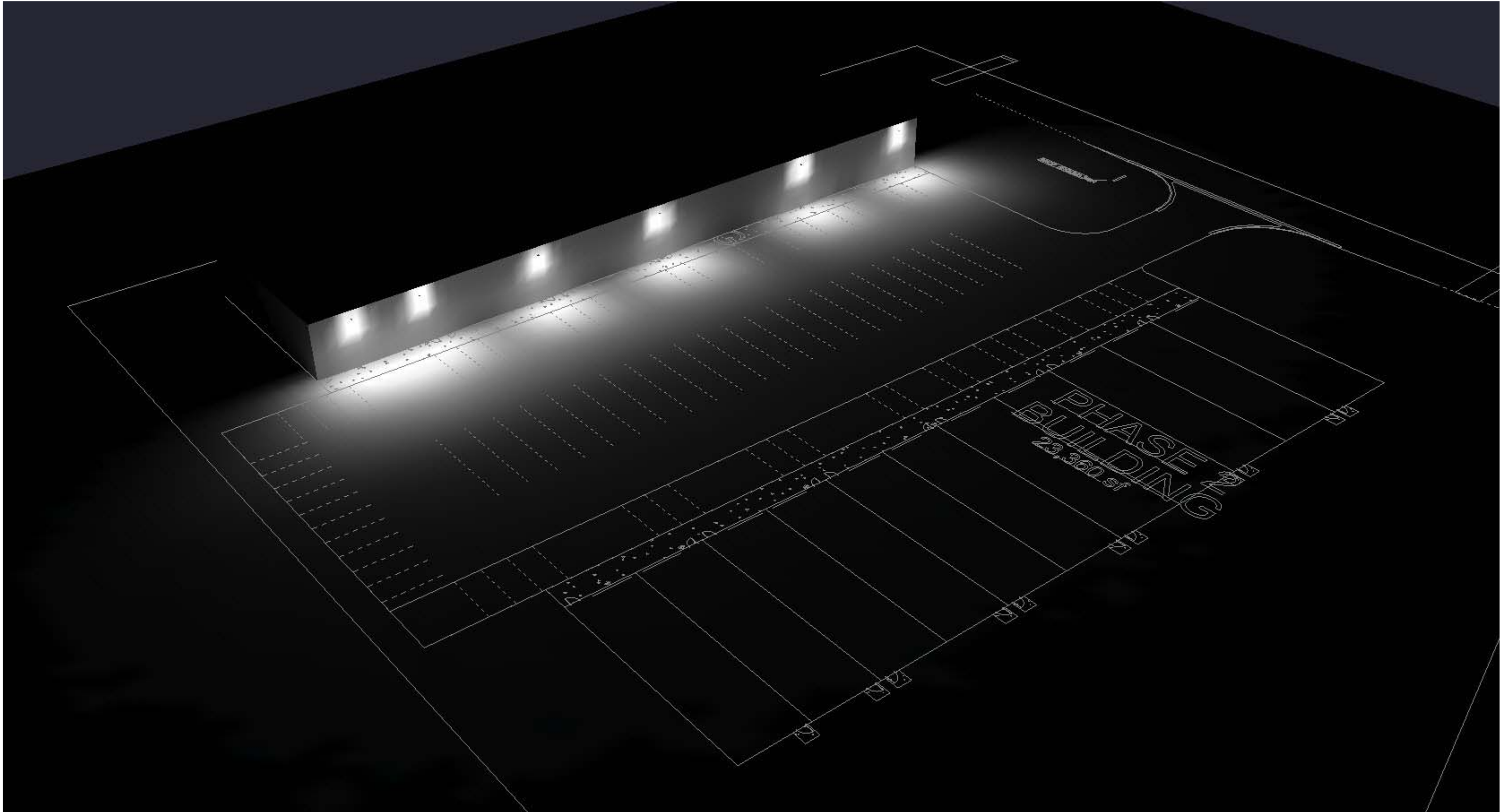
SHEET

1

Luminaire Schedule										
Scenario: GEN										
SYMBOL	QTY	LABEL	ARRANGMENT	LLF	[MANUFAC]	DESCRIPTION	MNT HEIGHT	MNT TYPE	TLT WATTS	LUMENS
<div>→</div>	6	WP12	Single	0.921	COOPER - LUMARK	XTOR12B	20	WALL	612	12728

Calculation Summary							
Scenario: GEN							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
LIGHT TRESPASS	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	2.26	9.9	0.3	7.53	33.00

NOTES:
- CALC AT GRADE



DESCRIPTION

The patented Lumark Crosstour™ MAXX LED wall pack series of luminaires provides low-profile architectural style with super bright, energy-efficient LEDs. The rugged die-cast aluminum construction, back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical compartment make Crosstour impervious to contaminants. The Crosstour MAXX wall luminaire is ideal for wall/ surface, inverted mount for facade/canopy illumination, perimeter and site lighting. Typical applications include pedestrian walkways, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, schools and loading docks.

SPECIFICATION FEATURES

Construction

Low-profile LED design with rugged one-piece, die-cast aluminum back box and hinged removable door. Matching housing styles incorporate both a full cutoff and refractive lens design. Full cutoff and refractive lens models are available in 58W, 81W and 102W. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes four 1/2" NPT threaded conduit entry points. The back box is secured by four lag bolts (supplied by others). External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered reflector providing high-efficiency illumination. Full cutoff models integrate an impact-resistant molded refractive prism optical lens assembly meeting requirements for Dark Sky compliance. Refractive lens models incorporate a molded lens

Electrical

LED driver is mounted to the die-cast aluminum housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 58W, 81W and 102W models operate in -40°C to 40°C (-40°F to 104°F). High ambient 50°C (122°F) models available in 58W and 81W models only. Crosstour MAXX luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Four half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz, 480V 60Hz, or 347V 60Hz electrical operation. 480V is compatible for use with 480V Wye systems only.

Emergency Egress

Optional integral cold weather battery emergency egress includes emergency operation test switch (available in 58W and 81W models only), an AC-ON indicator light and a premium extended rated sealed maintenance-free nickel-metal hydride battery pack. The separate emergency lighting LEDs are wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting.

Finish

Crosstour MAXX is protected with a super TGIC carbon bronze or sunnill white polyester powder coat paint. Super TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

Warranty

Five-year warranty.

XTOR CROSSTOUR MAXX LED

APPLICATIONS:
WALL / SURFACE
INVERTED
SITE LIGHTING

UL LISTED

ULC

UL

BAA

CERTIFICATION DATA

UL/cUL Wet Location Listed
Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)
DesignLights Consortium® Qualified*
LM79 / LM80 Compliant
RoHS Compliant
NOM Compliant Models
3G Vibration Tested
UL924 Listed (CBP Models)
IP65 Rated

TECHNICAL DATA

40°C Ambient Temperature
External Supply Wiring 90°C Minimum

EPA

Effective Projected Area (S_p, T_L):
XTOR68, XTOR18, XTOR12B: 0.54

SHIPPING DATA:

Approximate Net Weight:
12-30 lbs. (5.4-6.8 kg.)

TD05140056N

November 18, 2021 9:42 PM

COOPER Lighting Solutions

*www.designlights.org



CTA LIGHTING & CONTROLS
908C West River Center Dr
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616.647.2400
www.cta-lc.com

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION
Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.

This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Future nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR :



12830 QUINCY ST

SALES
QUOTES

DATE
9.8.2025

DESIGNER
J YONKERS

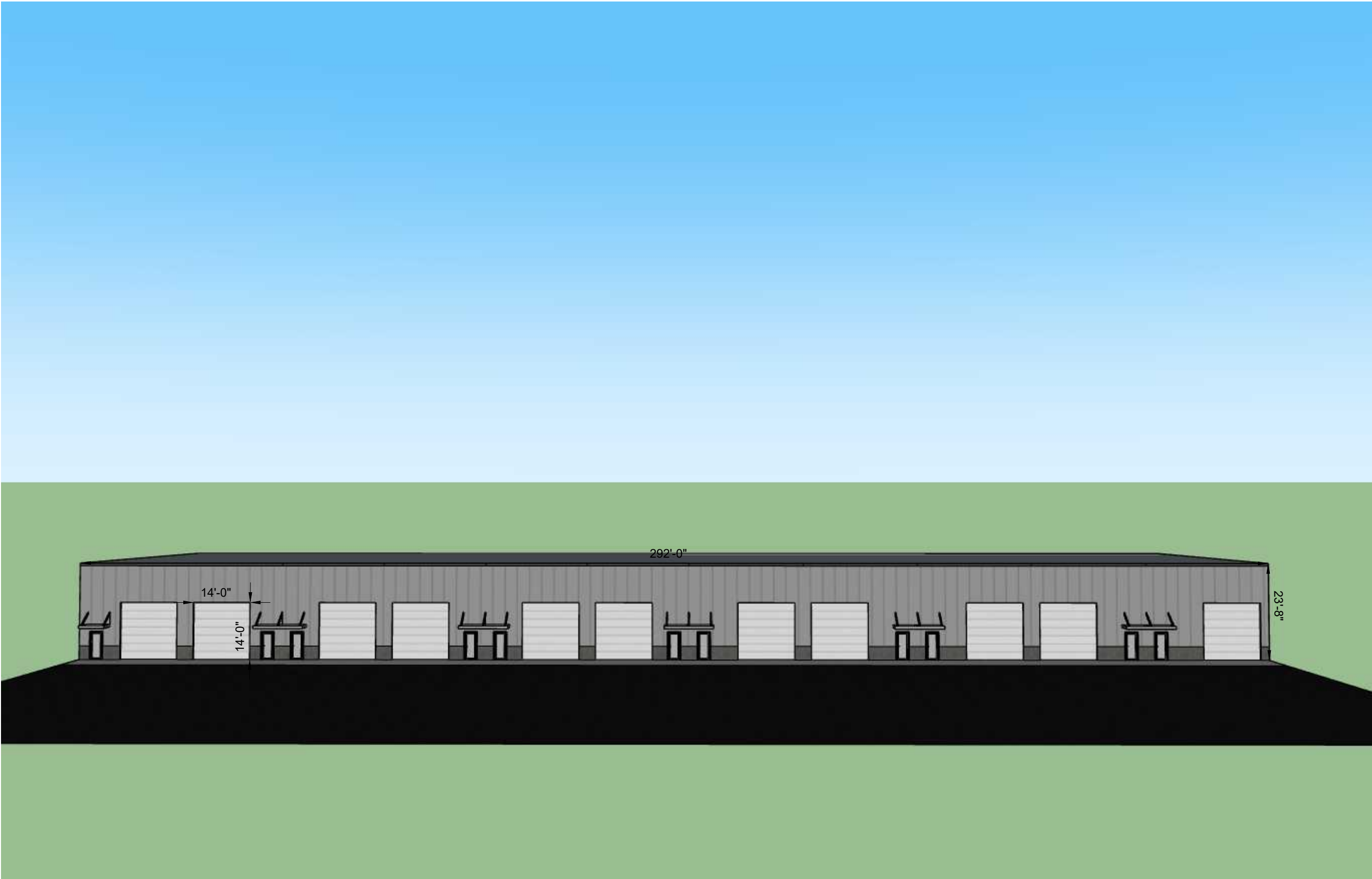
REVISIONS
DATE NAME

SHEET

2

SCHEDULES

SCALE: NTS



Schierbeek Elevation

ISSUE
09.05.2025

PROJECT
New Building

CLIENT
JDS LLC
12830 Quincy St
Holland, MI 49424

Miedema Metal Building Systems
3309 Hudson Trails Drive
Hudsonville MI 49426
Tel: 616.896.1700



3309 Hudson Trails Dr. • Hudsonville, Michigan 49426

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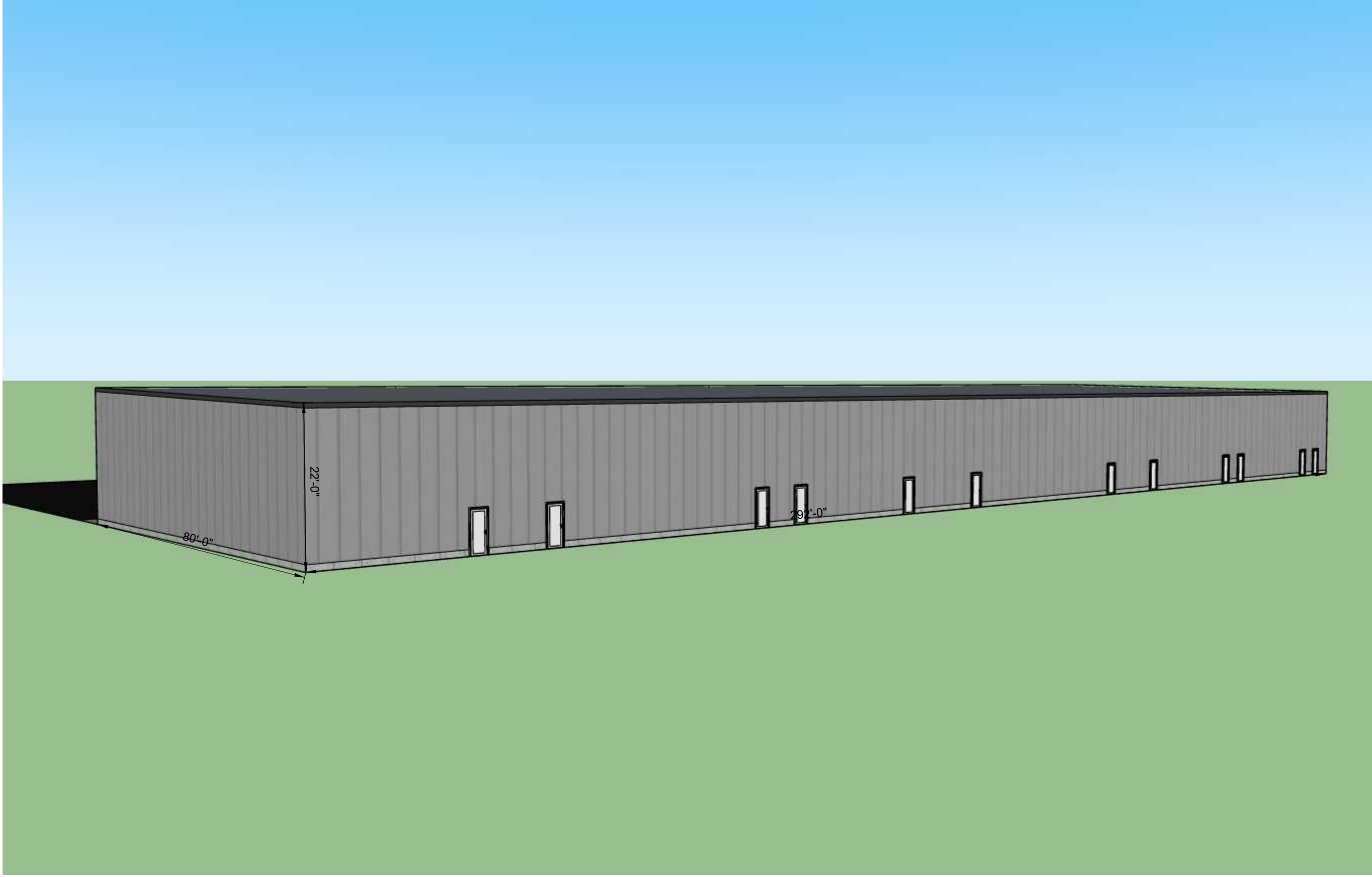
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PLAN SCALE
3/32" = 1'-0"

FLOOR PLAN
JDS LLC
12830 QUINCY, HOLLAND, MI 49517



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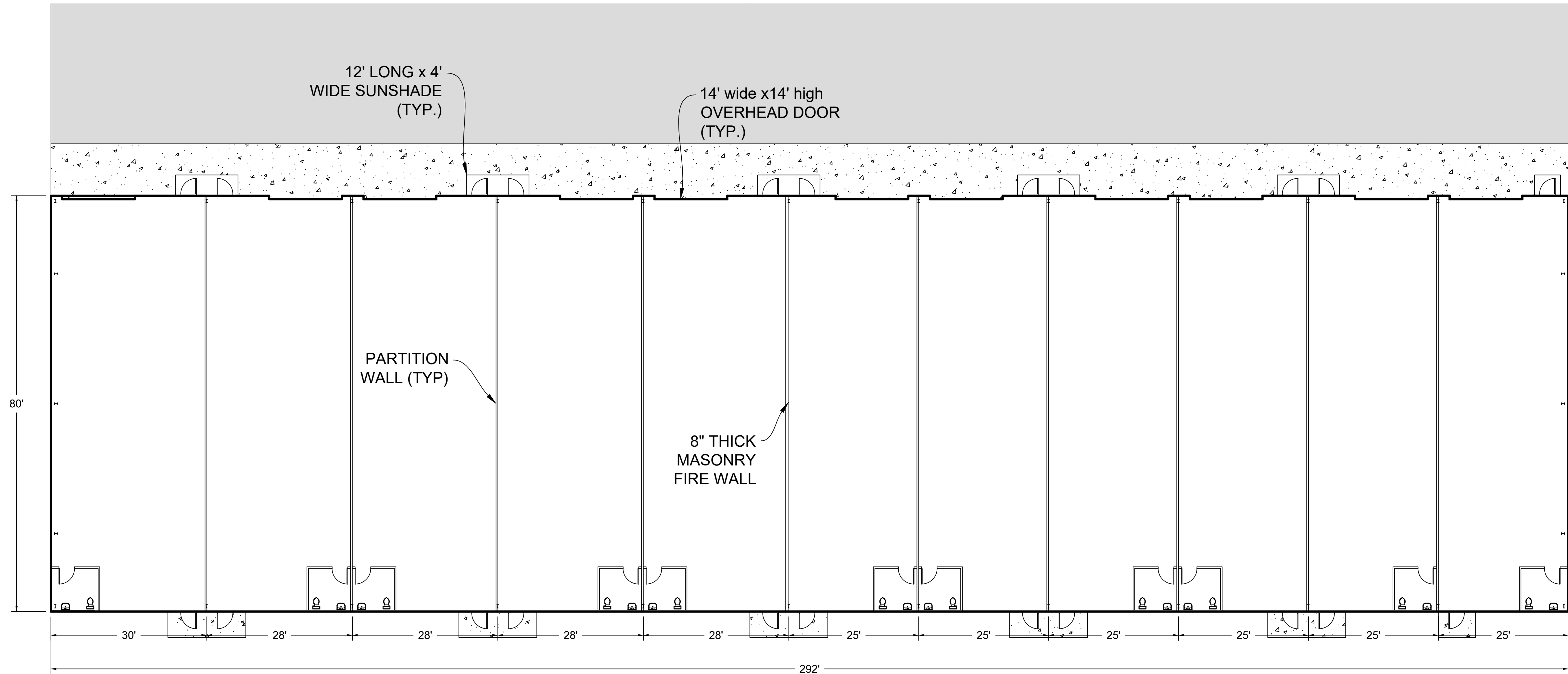
PROJECT NO.

DATE:
9/05/2025

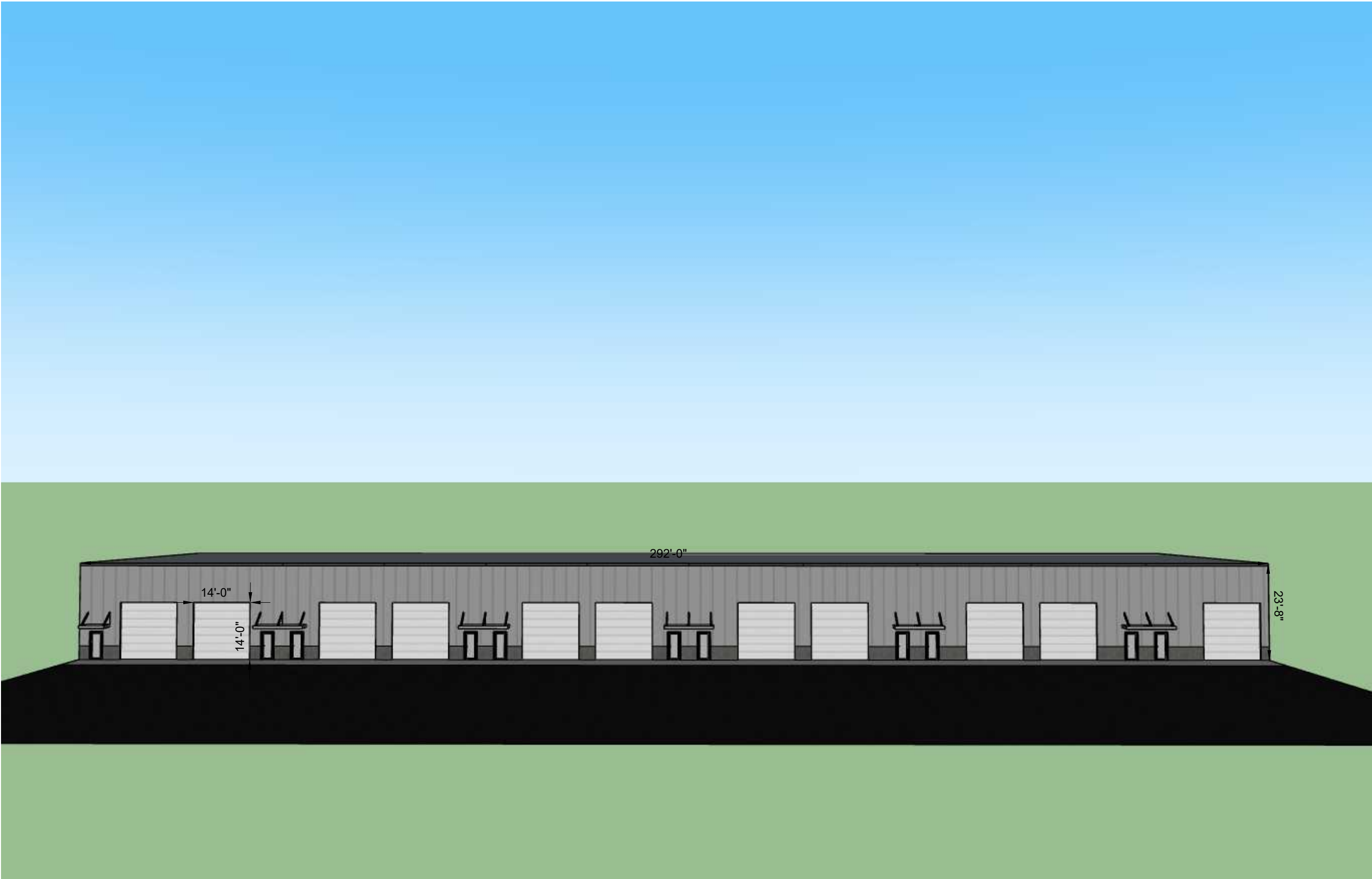
SHEET NO.

A1

OFFICE LAYOUT



FLOOR PLAN
SCALE 3/32" = 1'



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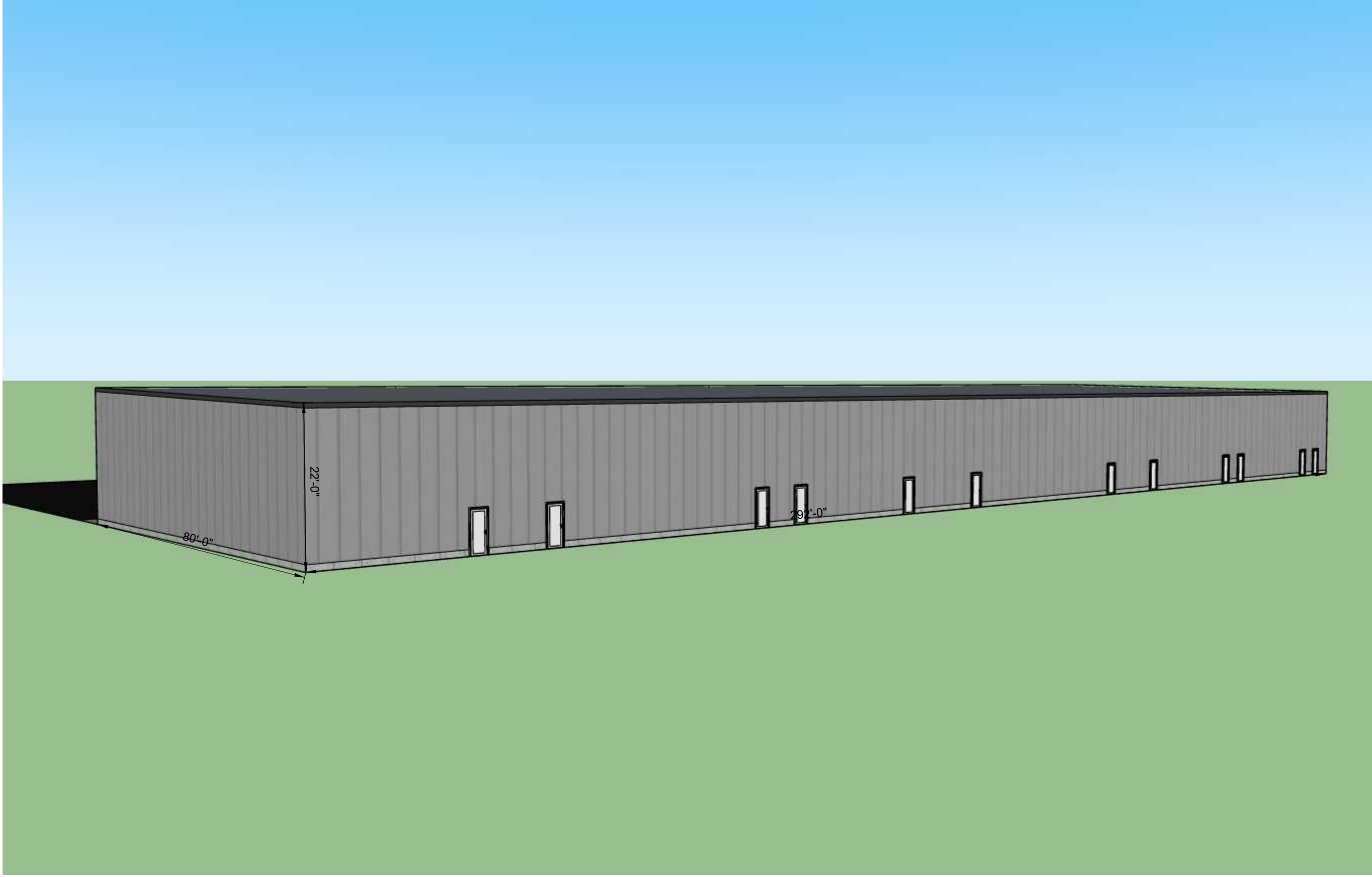
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