

Property Owner's Certification

I, the undersigned owner of the above-described property, certify that I understand conditions and restrictions may be placed upon this special use approval as deemed necessary by the Holland Charter Township Planning Commission and hereby agree to conform to and abide by any and all such conditions and restrictions.

I, acknowledge there are Specific Special Land Use Approval Standards in addition to those outlined in Section 15.3 (below) that apply to the following uses and by selecting a use below further acknowledge they have reviewed the associated standards and have addressed each of them in this submittal:

- ☐ Special Use – Earth-sheltered Building
- ☐ Special Use – Mineral Extraction
- ☐ Special Use – Wireless Communications

I further agree to authorize members of the Planning Commission and representatives from the Holland Charter Township Building Department to enter my property in order to review the particulars of my request.

Matthew Winters

Signature of Applicant

Date

K Wirebaugh

Signature of Owner

8/29/25

Date

Section 15.3 - General Standards of Approval.

- A. Standards of Approval. The Planning Commission shall review the particular circumstances and facts applicable to each proposed special land use with respect to the following standards:
1. The use will be harmonious and appropriate with the existing or intended character and land uses in the general vicinity.
 2. The use will be served adequately by public services and facilities, including, but not limited to, streets, police and fire protection, drainage structures, refuse disposal, water and sewer facilities, and schools..
 3. The use will not involve operations, materials and equipment that will be detrimental, hazardous, or disturbing to any persons, property or the general welfare due to traffic, noise, smoke, fumes, glare, vibration, or odors.
 4. The use will be consistent with the intent and purposes of this ordinance and the Holland Charter Township Comprehensive Plan.
 5. The use will ensure that the environment shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal and topographic modifications, which result in maximum harmony with adjacent areas.
 6. The use will not result in traffic congestion, nor have an adverse impact on roads, nor cause hazards.
 7. There is need for the proposed use within the township, and the use will not be detrimental to the community.
- B. Approval. If the Planning Commission finds that the standards in general have been met, in addition to confirming compliance with all other zoning requirements, the permit shall be issued.

September 9, 2025

Community Development Department
Holland Charter Township
353 N. 120th Avenue
Holland, MI 49424

To: Corey Broersma (Community Development Director) & Kate White (Assistant Planner)

**RE: Special Land Use Permit Application for
104 Clover Street, Holland, MI 49423**

Dear Corey, Kate, and Planning Commissioners,

The Salvation Army of Holland would like to apply for a Special Land Use Permit for our church/community center located at 104 Clover Street, Holland, MI 49423, to accommodate some proposed services aligned with our faith-based mission.

The Salvation Army as a Church

The Salvation Army, an international movement, is an evangelical part of the universal Christian Church. Its message is based on the Bible. Its ministry is motivated by the love of God. Its mission is to preach the gospel of Jesus Christ and to meet human needs in His name without discrimination. Founded by William Booth in 1865, **the Salvation Army operates principally as a church to provide “soup, soap, and salvation.”** We take a community-centered approach to providing programs that fit the specific needs of the places and people where we serve.

Prior Holland Charter Township Approvals for Use Variance

Holland Charter Township first approved our non-conforming variance to the R-2 residential zone district in 2001. This was followed by an additional approval petition for a use variance in 2017 to continue the use of the property in the non-conforming capacity for church services and other activities. With the Township’s approval in 2017, we were able to renovate and expand on the site to be a welcoming church and community center.

Proposed Accessory Church Uses

As we look at how best to steward the facility and continue to fill the gaps in the greater Holland-Zeeland community (including Holland Charter Township), we collaborated with several other area nonprofits in the Project HOME initiative led by the Lakeshore Leadership Council and the Lakeshore Nonprofit Alliance. **One of the key community needs identified was for an ‘integrated services’ model to co-locate key services such as community meals, showers, and actively engage individuals and households**

experiencing homelessness with wraparound supportive services such as housing, treatment, life skills, job search.

To this end, we are looking at the following proposed interior modifications and accessory uses. These are an extension of our faith-based mission and would be compliant with the non-conforming use as a religious institution and place of worship in the R-2 residential zone. Additionally, the renovation of the existing structure will not alter or change the principal use of the property as a Church, as permitted by the variance approved and grandfathered in by the Township in 2017.

While there may be increased foot traffic with accessory uses, these functions would not alter the broad cross section of the community who already come here as a congregation member, guest, volunteer, neighbor, or camper.

THE SALVATION ARMY COMMUNITY CENTER (HOLLAND) 104 Clover Street, Holland, MI 49423	
EXISTING & FUTURE OPERATING HOURS (UNCHANGED) <ul style="list-style-type: none"> 9AM to 4PM, MONDAYS – FRIDAYS 11AM – 12:30 PM, SUNDAY WORSHIP SERVICES 	
CHURCH FACILITIES (APPROVED 2017)	PROPOSED INTERIOR MODIFICATIONS
Spaces Prior to 2017 Approved Addition <ul style="list-style-type: none"> Fellowship Room Kitchen Office Food Pantry Cooler/Freezer Circulation/Toilets/Walls Approved 2017 Addition (Completed in 2018) <ul style="list-style-type: none"> Multipurpose room Chapel Platform Business offices Nursery Craft room Game room Classrooms Kitchen Narthex Storage Reception/Waiting Circulation/Toilets/Walls Upper floor storage Upper floor circulation 	<ul style="list-style-type: none"> Dishwashing galley (changing the dishwashing line in the commercial kitchen) Showers

PRINCIPAL CHURCH USES & SERVICES	PROPOSED ACCESSORY USES
<ul style="list-style-type: none"> • Chapel • “Pathway of Hope” family support program • Food pantry • Thursday Family Meals & Activities • Women’s fellowship group • Book club • Christian day camp • Christmas distribution • Utilities, rent, food assistance • Pickleball groups • Warming and cooling center as needed during current hours of operation (no overnight) 	<ul style="list-style-type: none"> • Meals by Community Action House’s Community Kitchen (Limited to 11am to 12:30pm, Monday – Friday). • On-site referrals and supportive services by other nonprofit agencies to support guests/clients. • Shower services for staff, guests, and existing missional outreach/hygiene support.

Existing & Potential Program Partners

The Salvation Army is principally a church-community center; all existing and potential program partners are established with the intention of ensuring missional alignment. To that end, the Salvation Army focuses on building partnerships. It has not and is not interested in becoming a commercial landlord.

EXISTING PROGRAM PARTNERS	POTENTIAL PROGRAM PARTNERS
<ul style="list-style-type: none"> • Food Pantry: I AM Academy, Lakeshore Food Rescue, Community Action Agency of Ottawa County, Hungry for Christ, Kids Food Basket, Ottawa Food, Gateway Mission, Postal Food Drive, Feeding American West Michigan • Hygiene Support: Community Action of Allegan County, Nestlings Diaper Bank • Christmas Toy Drives: Menards, Toys for Tots • Supportive Services: Single MOMMs 	<ul style="list-style-type: none"> • Community Action House-Community Kitchen • Good Samaritan Ministries • Community Mental Health • Refresh <p>(Note: This is a preliminary list.)</p>

As a church and community space, The Salvation Army intends to create a safe and welcoming environment for all users, neighbors, and program partners. A “Code of Conduct” and “Responses to Violations of the Code of Conduct” has been prepared to communicate expectations and foster the safe, welcoming environment. The Salvation Army staff will engage and work intentionally with individuals in rare and exceptional circumstances if a response is needed.

A copy of the “Code of Conduct” and “Responses to Violations of the Code of Conduct” has been included in the submission packet for reference. It has also been shared with existing and potential program partners, as well as the Ottawa County Sheriff’s Office.

Lastly, The Salvation Army is committed to a data-driven approach in understanding program users and demand, while maintaining the appropriate and relevant client privacy.

Holland Charter Township Special Land Use Standards of Approval

1. The use will be harmonious and appropriate with the existing or intended character and land uses in the general vicinity.

There are no changes to the use of the building as approved by Holland Charter Township in the petition for a use variance in 2017. There are also no proposed modifications to the building exterior, character, and grounds. As such, per the 2017 approval based on the **same site plan (See Exhibit A: Final Site Plan & Landscape Plan)**, the use remains harmonious and appropriate with the existing character and land uses in the general vicinity.

2. The use will be served adequately by public services and facilities, including, but not limited to, streets, police and fire protection, drainage structures, refuse disposal, water and sewer facilities, and schools.

Per the 2017 use variance approval, the completed expansion was approved to accommodate a **total occupancy load of 1,232 on the main level and 4 on the upper level (See Exhibit B: Code Review under the 1st Floor Demo Plan)**. Since then, the facility has been adequately served by public services and facilities. The proposed accessory uses will remain well under the total occupancy load as approved in 2017 and will remain adequately served by the existing levels of public services and facilities.

With clear policies and procedures, including the “Code of Conduct” and “Responses to Violations of the Code of Conduct,” and consistent management practices, The Salvation Army seeks to work within existing public service capacities.

3. The use will not involve operations, materials and equipment that will be detrimental, hazardous, or disturbing to any persons, property or the general welfare due to traffic, noise, smoke, fumes, glare, vibration, or odors.

All principal and accessory uses will continue to operate within the existing hours: Monday – Friday (9AM to 4PM), Sunday Worship Services (11AM to 12:30PM).

Meal services will be strictly limited to Monday - Friday (11AM to 12:30PM).

The commercial kitchen was designed and constructed to accommodate large-scale meal services, as were the offices to accommodate meetings and ministry.

As and when they are designed and constructed, showers are intended to support the outreach and mission of the church.

All principal and accessory uses will result in minimal impacts in operations, materials, and equipment that will be detrimental, hazardous, or disturbing to any persons, property or the general welfare due to traffic, noise, smoke, fumes, glare, vibration, or odors.

4. The use will be consistent with the intent and purposes of this ordinance and the Holland Charter Township Comprehensive Plan.

The accessory church uses are an extension of the principal church uses approved by Holland Charter Township in 2017. Further, the Township has approved and recognized our

non-conforming variance as a place of worship to the R-2 residential zone district. This non-conforming variance remains the same and is consistent with what was previously approved.

5.The use will ensure that the environment shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal and topographic modifications, which result in maximum harmony with adjacent areas.

The landscaping plan was approved as part of the site plan review in 2017, and plantings were installed per the plan to provide shade and buffer.

Based on the Ottawa County Sheriff Office's Crime Prevention Through Environmental Design assessment completed for the property in August 2025, the environment and grounds will not require any tree and soil removal and topographic modifications.

The CPTED assessment recommended the following which should continue to provide maximum harmony with adjacent areas:

- Maintaining the 2 ft – 6 ft rule with landscaping on the property.
- Holland Township should consider adding sidewalks and additional lighting along Clover St.
- The property itself should consider a more secure vestibule entrance with a check in / buzz in protocol.
- Additional surveillance cameras should be added to the interior and to the exterior to monitor the property.

6.The use will not result in traffic congestion, nor have an adverse impact on roads, nor cause hazards.

The proposed accessory uses as part of the church outreach and mission is likely to result in more visitors and a potential increase in foot traffic to the area. No significant vehicular traffic increases are anticipated, and hence the use will not result in traffic congestion or have an adverse impact on roads or cause hazards. If additional parking is needed based on the operations over time, the approved site plan from 2017 has also identified an area for future/deferred parking (currently held as green space).

7.There is need for the proposed use within the township, and the use will not be detrimental to the community.

(See "Proposed Accessory Church Uses" on Pg 2– 3).

Thank you for considering our Special Land Use Permit request. Please feel free to reach out if you have any questions.

Respectfully,

Captain Matthew Winters & Captain Haylee Winters

Project Information

Governing Codes: Michigan Building Code 2015, Incorporating the 2015 International Building Code
Michigan Plumbing Code 2015
Michigan Mechanical Code 2015
Michigan Electrical Code 2015
ICC/ANSI A117.1-2008
Code of Ordinances: Holland Charter Township, MI.
ENFORCING AGENCY: Holland Charter Township
SITE ADDRESS: 104 Clover Street / 111 Spruce Street
Holland, MI 49423
PARCEL NUMBERS: 70-16-28-252-011, 70-16-28-252-012 & 70-16-28-252-058
ZONING: R-2 Residential
SETBACKS: Front 35'
Sides 20'
PARKING: Existing = 74 Spaces & 4 B.F.
29 Future Spaces
EXTERIOR LIGHTING: As Shown on Plans

Building Area

Square Footage Totals:
Existing Building (footprint): 9,033 sq. ft.
Proposed Addition (footprint): 22,195 sq. ft.

Site Plan Key Notes

- 1.10 New 2" Caliper Deciduous Tree Per Holland Charter Township Zoning Standards
- 1.11 New Evergreen Shrub Row/Cluster Per Holland Charter Township Green Belt Requirements
- 1.29 Existing Shrub Row/Cluster To Remain
- 1.30 Existing Tree To Remain
- 1.31 Existing Tree To Be Removed
- 1.32 Physically Handicapped Sign: Refer To ADA Detail
- 1.33 Physically Handicapped Sign (Van Accessible Space): Refer To ADA Detail
- 1.34 Existing Utility Pole To Remain
- 1.39 All Existing Bituminous Paving To Be Removed
- 2.05 (0213) Asphaltic Paving, Indicated By Shaded Area 22A Road Gravel & Clean Comp. Sand Fill Within Limits Shown. Refer To Detail On Sheet C-002.
- 2.30 (02514) Poured Concrete Sidewalk 4" Thick Rein. w/ 6" x 6" #10/10 WWM. Give Light Broomed Finish With Troweled Borders. Apply Over 12" Compacted Sand Fill.
- 2.31 (02514) Poured Concrete Sidewalk 4" Thick Reinforced w/ 6" x 6" #10/10 WWM Turn-Down Edge At Bituminous Paving Give Light Broomed Finish With Troweled Borders. Apply Over 12" Compacted Sand Fill. Refer To Detail On Sheet C-002.
- 2.35 (02514) Poured Typical F-4 Concrete Curbing. Control Joints At 10'-0" O.C., Or At Curb Radius. Expansion Joints At 50'-0" O.C. Fill With Joint Filler.
- 2.38 (02720) 12" Class IV Storm Water Piping Installed @ 0.48%.
- 2.39 (02730) New 6" Sanitary Sewer Line From Existing Lateral In Street To Within 5' Of Building. Verify Location Of Lateral.
- 2.40 (02660) New 6" Fire Protection Water Service & 2" Domestic Water Service To Building
- 2.42 (02720) 4'-0" Diameter Leaching Basin. Refer To Detail On Sheet C-002.
- 16.01 2-46 TRHN & #10 GR in 1" PVC to RCP
- 16.02 Light Pole. See Sheet C-002 For Base Detail
- 16.03 1" PVC Stub For Future

Legend

- Key Note Label
- Spot Elevation
- Storm Sewer Structure

S.E.S.C. Measures Legend

- Permanent/Temporary Seeding
- Rip Rap
- Silt Fence
- Inlet Protection Fabric Drop

Storm Water Information

Total Site: 2.43 Acres
Paved Area: 0.92 Acres (Use of Leaching Basins Reduces Impervious Area to 0.04 Acres for Calculations)
Building Area After Addition: 0.73 Acres
Remaining Pervious Area After Addition: 1.56 Acres (Includes Areas Influenced By Leaching Basins)
Site Runoff Coefficient: 0.40
Site Permeability From Soil Borings: 12.00 in/hr (Use Half Value Per OCMRC = 6.00 in/hr)
Required Storage Volume: 0.17 acre-feet
*All Calculations are based on OCMRC Standards for a 100 year (1%) Rainfall Event

THE SALVATION ARMY
Addition & Renovation
The Salvation Army
104 Clover Street, Holland MI

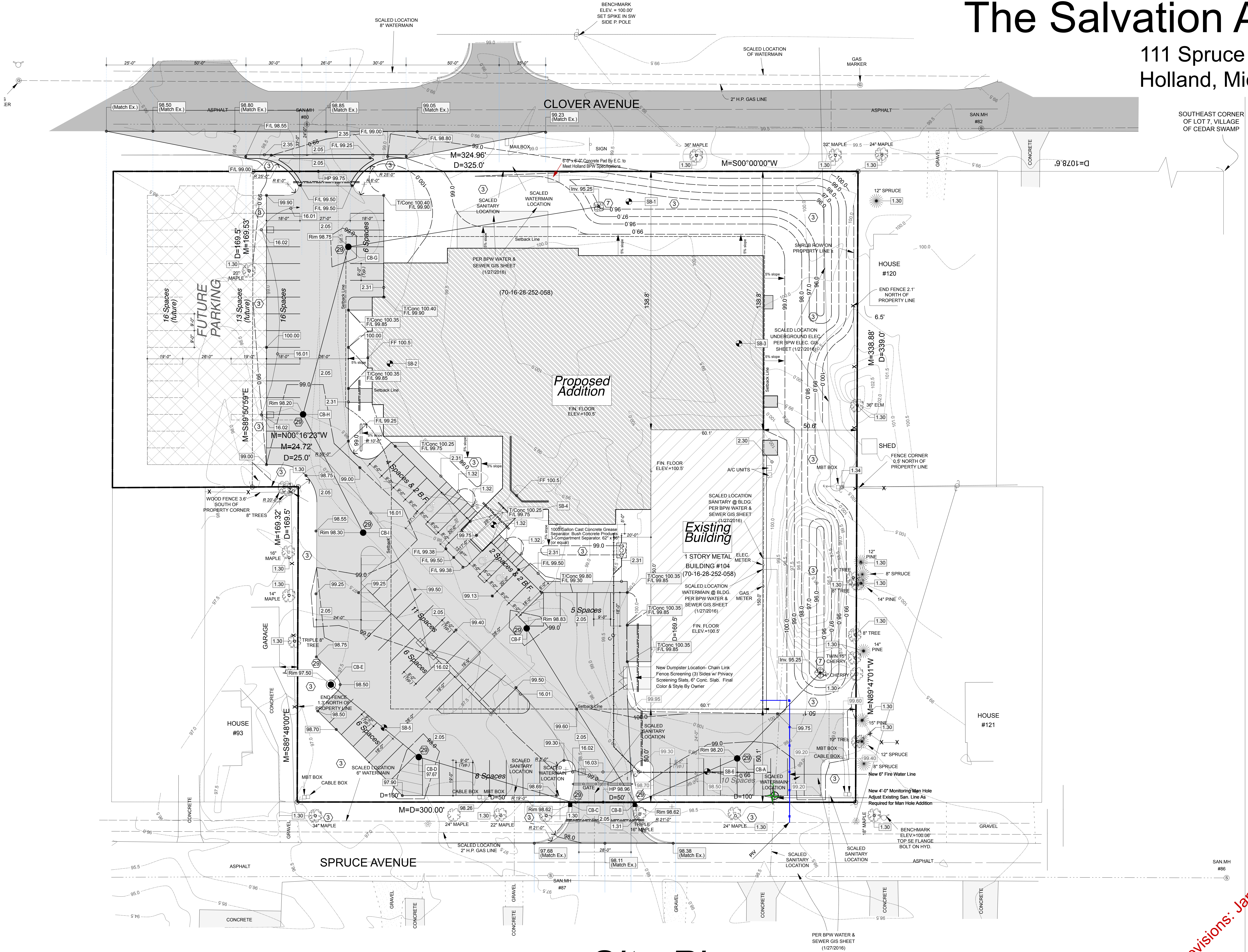
MARK	DATE	DESCRIPTION
001	Oct 16, 2015	Schematic Drawing Review
002	Feb 1, 2016	Schematic Drawings Complete
003	Jan 23, 2017	Issued For HCT Zoning Review
004	Mar 20, 2017	HCT Comments
005	Apr 17, 2017	Construction Documents

PROJECT NO: 15-543
COPYRIGHT: © 2016 Gen1 Architectural Group, LLC

SHEET TITLE
Site Plan
C-001

Addition & Remodeling The Salvation Army

111 Spruce Street
Holland, Michigan



Site Plan

SCALE: 1" = 20'

EXHIBIT A

Final Site Revisions: January 09, 2018

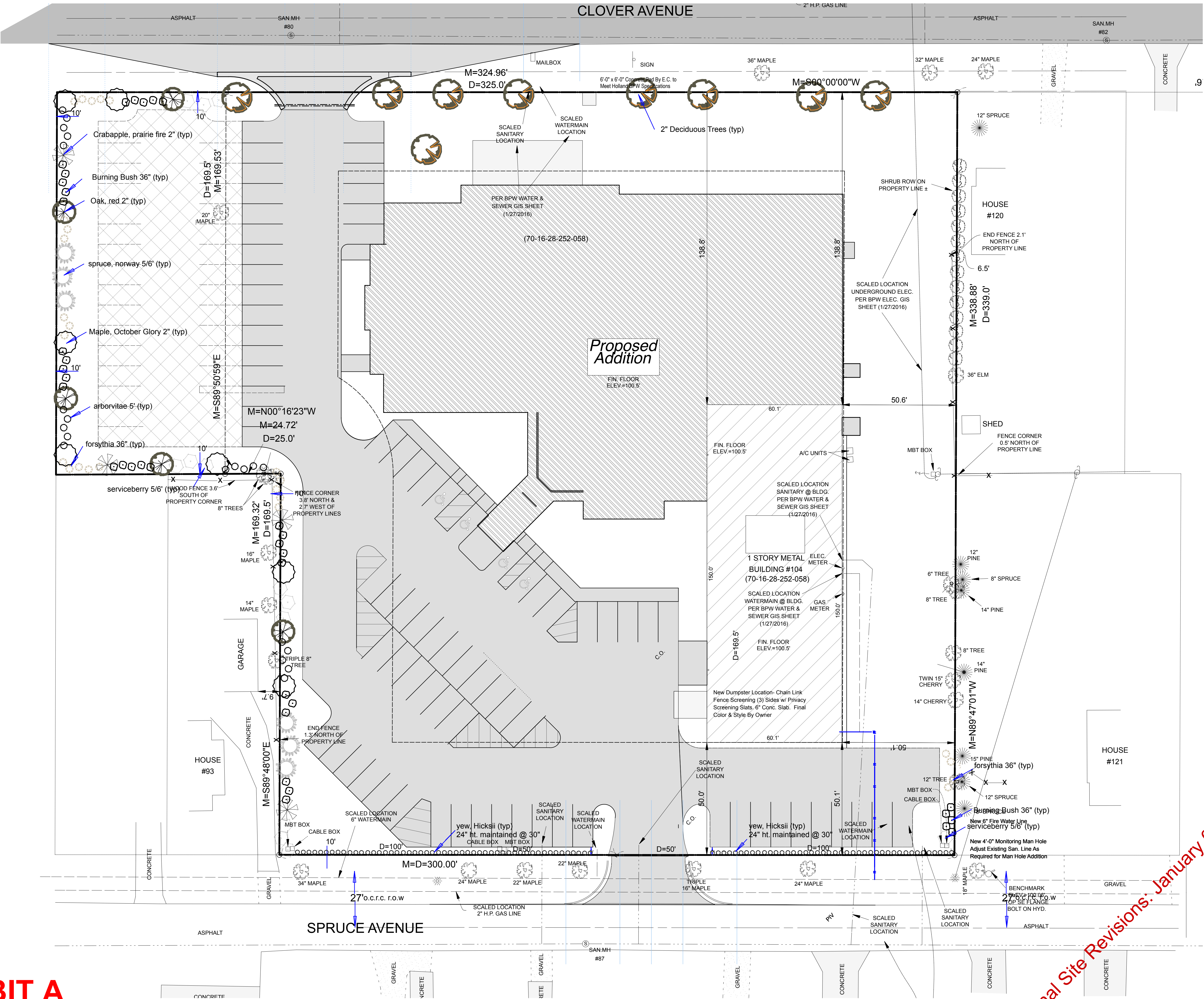


EXHIBIT A

Final Site Revisions: January 09, 2018

Project Name		
Owner		
Address, Holland, Michigan, 49424,		
MARK	DATE	DESCRIPTION
001	May 15, 2013	Final Owner Review
002	Aug 01, 2013	Issued for General Bids
PROJECT NO.		
COPYRIGHT: c 2015 Gen1 Architectural Group, LLC		
SHEET TITLE		
Landscape Plan		
C-003		

Code Review The Salvation Army,
Holland Township, MI

Chapter 3 Use & Occupancy Classifications
Main Level = 25,007 SF
Upper Level = 12,811 SF
Based on the most restrictive use for mixed use, unseparated, this building is being classified as A3 use group, Type IIIB Construction, and full automatic fire sprinklers.

Area and Usage	Use Group	Occ. Load	Total Area
----------------	-----------	-----------	------------

Main Level Existing:

Fellowship Room:	A3	251	1,729 SF
Kitchen(Partial):	B	2	280 SF
Office:	B	10	869 SF
Food Pantry:	S1	8	3,840 SF
Cooler/Freezer:	S1	1	460 SF
Circ./Tlts/Walls:	(n/a)		1,735 SF
Total Main Level Area:	272		9,033 SF

Main Level New (Addition):

Multi-Purpose Room:	A3	436	6,547 SF
Chapel :	A3	290	2,028 SF
Platform:	A3	109	761 SF
Business Offices:	B	11	1,108 SF
Nursery:	I4	21	729 SF
Craft Room:	E	11	531 SF
Game Room:	A3	39	1,946 SF
Classrooms:	E	38	764 SF
Kitchen (Partial):	B	2	290 SF
Narthex:	(n/a)	0	1,041 SF
Storage:	S1	3	1,493 SF
Recept/Waiting:	(n/a)	0	1,316 SF
Circ/Toilets/Walls:	(n/a)	0	3,591 SF
Total Main Level Area:	960		22,145 SF

Upper Level (Addition):

Storage:	S1	4	2,278 SF
Circulation Space:	(n/a)	0	152 SF
Total Area:	4		2,428 SF

Chapter 5 General Heights & Areas

Assume building type: IIB all materials non-combustible or as allowed in Table 603.

Table 503:			
Use Group	Max Area	#Stories	
A2	9,500 SF	2	

A3	9,500 SF	2
E	14,500 SF	2
B	23,000 SF	3
I4	13,000 SF	2
S1	17,500 SF	2

Most restrictive use group = A3 with 9,500SF. Area increased based on that use for entire building. Height = 55' (based on IIB)

Section 504 Building Height

504.2 Automatic Sprinkler System Increase: Entire building protected by automatic sprinkling system per Section 903.1.1. Number of stories increased by 1 story (to 3 stories) and the allowable height increases by 20' from 55' to 75'.

506. Building Area Modifications

506. 2 Frontage Increase: This building has >30' open area around all sides of the building. Therefore the area increase for open area is ((908/908) - (.25) (30/30) = 75%

506.3 Automatic Sprinkling System Increase: This building will be completely protected by an automatic sprinkling system per Section 903.1.1. Therefore area increase will be 200% for buildings with more than one story above grade. 9,500SF x 200% = 19,000 SF.

Total area increase:
Allowable building area: 9,500 SF
Area Increase for frontage: 7,125 SF
Area Increase for fire suppression: 19,000 SF
Total Floor Area Allowed: 35,625 SF

Section 508 Mixed Use and Occupancy

508.3 Non-separated Occupancies:
508.3.2 Allowable building area and height: Areas shall be based on the most restrictive requirements for use groups in Section 501.1 (Most restrictive use is A3 with 9,500SF)
508.3 Separation: No separation is required between non-separated uses.

Section 509 Incidental Uses:

509.3 Area Limitations: Incidental uses shall not occupy more than 10% of the building area of each floor of the building.

Table 509: Fire Partition requirements for incidental uses.

Chapter 6 Types of Construction

Table 601: Building Type IIB Exterior walls non-combustible with all other elements as approved by code.
Primary Structural Frame 0 hours

Exterior Bearing Walls: 0 Hours
a.) not less than 704.10 (0 Hours)
b.) not less than Table 602 (0 Hours)
Interior Bearing Walls: 0 Hours
Non-bearing Walls: 0 Hours
Floor Construction: 0 Hours
Roof Construction: 0 Hours
Table 602: Fire Resistance Rating of Exterior Walls Greater than 30' = 0 Hours (All walls in this building)

Section 707 Fire Barriers

707.3.1 Shaft Enclosures: Design per 713.4
707.3.2 Interior Exit Stairways: Design per 1022.1
707.3.7 Incidental Uses: Design per Table 509
707.5.1 Supporting Construction: (Exception 3) Supporting construction for 1 hour fire barriers not required in building type IIB.

Section 711 Horizontal Assemblies

711.4 Continuity: (Exception) Supporting structure not required to be fire rated for type IIB construction.

Section 713 Shaft Enclosures

713.4 Fire Resistance Rating: Shaft enclosures serving 4 floors or less are permitted to be 1 hour fire rated construction.
713.5 Continuity: Shaft enclosure shall be constructed per Section 707 and 711, and continuity as per 707.5 and 711.4

Chapter 8 Interior Finishes

All materials shall comply with Table 803.9

Chapter 9 Fire Protection Systems

903.2.1 Use Group A3: The fire area exceeds 12,000 SF or 300 seats - Automatic fire sprinkler system required per Section 903.

Chapter 10 Means of Egress

Section1004 Occupant Loads

Table 1004.1
Assembly: w/o fixed seats 15 SF/Person for tables & chairs in Multi-Purpose Room & Cafe
Assembly: w/o fixed seats 7 SF/Person concentrated chairs in Chapel.

Business: 100 SF/Person
Kitchens: 200 SF/Person
Classrooms: 20SF/Person
Games: 50SF/Person
Craft Room: 50SF/Person
Nursery: 35SF/Person
Storage Warehouse: 500 SF/Person

One hour enclosure <4 stories. Exit directly to exterior except per 1027.

Section 1027 Exit Discharge

(Exception 1) 50% of required exits from interior exit stairway and ramps can discharge through an adjoining space as long as the space meets 3 requirements listed below:

- 1.1: The exit path is unobstructed and straight-line visible from the exit stairway.
- 1.2: The area below the space is separated by construction conforming to required fire resistance rating.
- 1.3: The space is protected by automatic fire sprinklers.

Section 1005 Sizing
1005.3.1 Stairs (Exception) 0.2"/occupant width with sprinkling exception
Total Occupant Load Main Level: 1232 x 0.2" = 246"
1005.3.2 Other Egress Components: (Exception) 0.15"/occupant width with sprinkling exception
Total Occupant Load Main Level: 1232 x 0.15" = 184"
1005.5 Distribution of Egress Capacity: With more than one exit, maintain maximum of 50% reduction with blockage of one exit
1005.6 Egress Convergence: Where exits converge their sum shall be used for exit calculations

Section 1009 Stairways

1009.3 Exit Access Stairways: (Exception 1) Exit access stairways that connect 2 floors shall not be required to be enclosed. (Exception 5) Exit access stairways in Atriums are not required to be enclosed that comply with Section 404.
1009.4 Width: <50 occupant load 36" minimum width, >50 occupant load 44" minimum width.
1009.5 Headroom: Minimum 80"
1009.7.2 Treads & Risers: Min riser 4" max. 7". Min tread 11"

Section 1014 Exit Access

1014.3 Common Path of Travel:

Table 1014.3
B & S uses = 100'
All other uses = 75'

Section 1015 Exit & Exit Access Doorways:

Minimum 2 exits except per Table 1015.1

Table 1015.1 Space With One Exit

S use max 29 occupants
B, E, A = 49 occupants
I4 use = 10

Section 1016 Exit Access Travel Distance

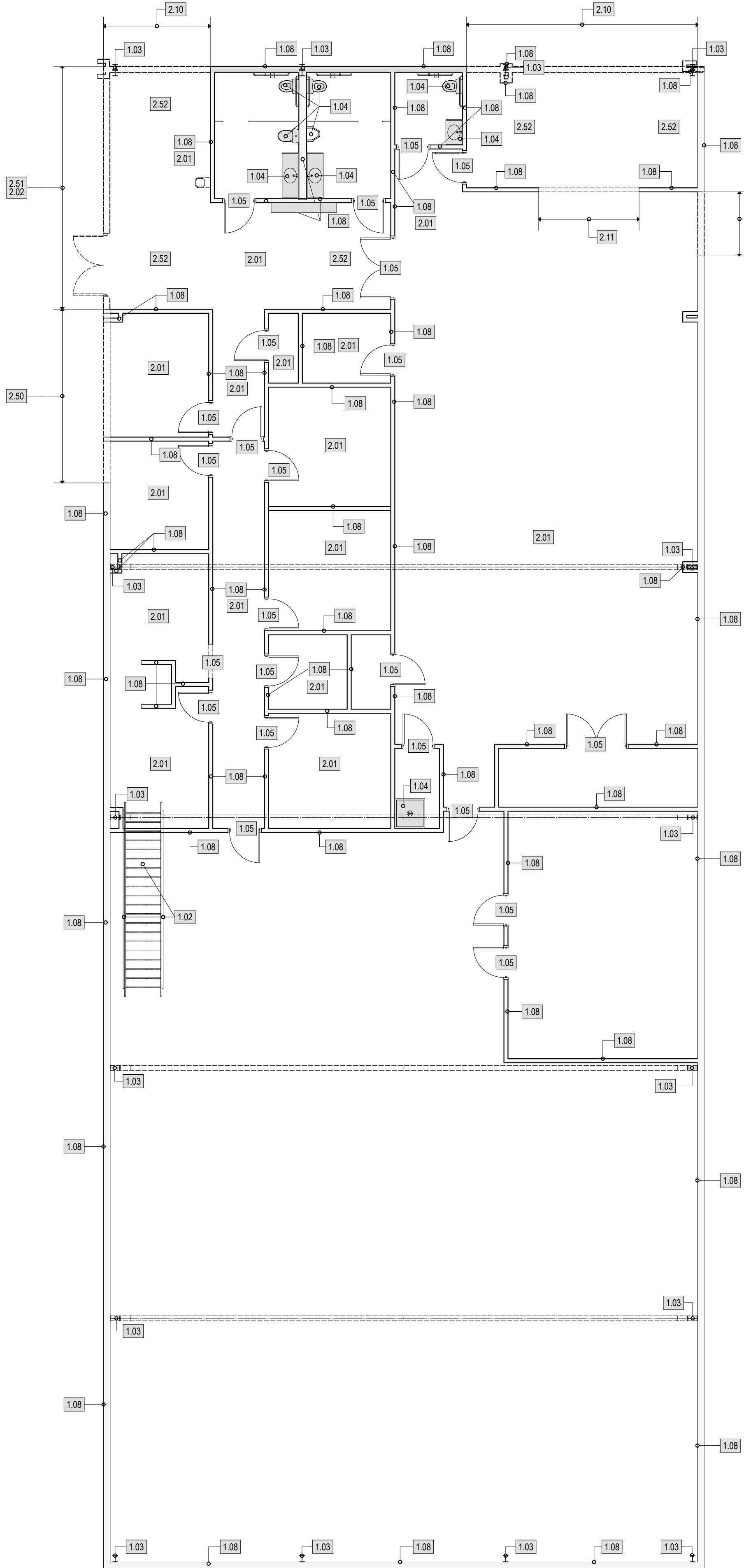
Table 1016.2 Maximum Travel Distance
A, E, S1 uses = 250'
B use = 300'
I4 use = 200'

Section 1018 Corridors:

Table 1018.1 Corridor Fire Resistance Rating
A, B, E, S, I4, uses = 0 hour required with sprinkling
1018.4 Dead Ends: (Exception) Maximum dead end = 50' in B, E, S uses. 20' for A use.

Section 1022 Interior Exit Stairways and Ramps:

Design as fire barriers per Section 707 and 711.



1st Floor Demo Plan

SCALE: 1/8" = 1'-0"

Demo Key Notes

- In General, All Elements and Objects Shown With Dashed Lines Shall Be Carefully Removed From The Site. Dispose As Directed By The Architect.
- 1.02 Existing Stair and Handrail to Remain
 - 1.03 Existing Columns to Remain
 - 1.04 All Existing Plumbing Fixtures to Remain
 - 1.05 Existing Doors to Remain
 - 1.06 Existing Windows to Remain
 - 1.08 Shaded Walls Indicate Walls to Remain
 - 1.09 Existing Cabinets & Counters to Remain
 - 2.02 Remove Existing Concrete Walls and Accompanying Footings
 - 2.05 Remove Existing Poured Concrete Slab
 - 2.10 Dashed Lines Indicate Existing Portion Of Wall To Be Removed For Installation Of New Door And Frame. Patch To Match Existing Adjacent Surfaces.
 - 2.11 Dashed Lines Indicate Existing Portion Of Wall To Be Removed For Installation Of New Window. Patch To Match Existing Adjacent Surfaces
 - 2.13 Shaded Area Indicates Portion Of Existing Concrete Floor To Be Saw-Cut And Removed For New Plumbing Lines
 - 2.50 Remove Portion of Existing Pre-Engineered Metal Siding & Girts as Needed For Installation of New Steel A Gyp. Glt Wall.
 - 2.51 Remove Existing Pre-Engineered Metal Siding, Wall Girts, Studs & Gypsum Board
 - 2.52 Remove All Existing Lighting Fixtures and Associated Switching as Required. Refer to Electrical Plans Sheets E-011 - E-004 for New Lighting Layout, Electrical Devices and Receptacle Placements.

Legend

- Key Note Label
 Project Manual Reference #
 Building Section Reference

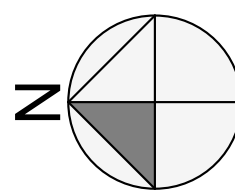
NO.	DATE	DESCRIPTION
001	Jul 28, 2016	Design Development Revisions
002	Oct 15, 2016	Construction Documents 50% Complete
003	Feb 17, 2017	Construction Documents Final Review
004	April 17, 2017	Construction Documents

PROJECT NO: 15-540
COPYRIGHT: © 2016 Gen1 Architectural Group, LLC

SHEET TITLE

1st Floor Demo Plan

D-001



Code of Conduct

1. Respect

- Treat everyone with kindness, dignity, and respect
- Discrimination, harassment, or abusive language or behavior of any kind will not be tolerated
- Respect personal boundaries and privacy
- Obey all laws, local ordinances, and The Salvation Army's policies

2. Safety

- Physical violence, threats, or aggressive behavior are strictly prohibited
- Weapons and dangerous objects are not allowed on The Salvation Army's property
- The Salvation Army is a smoke-free and drug-free environment. (Including but not limited to: tobacco, vaping, and marijuana, etc.)
- No alcohol is permitted under any circumstance
- Always follow instructions from staff and volunteers
- To protect your personal belongings, do not leave them unattended
- For your children's safety, please do not leave them unattended
- Pets are not allowed. Only service animals are permitted

3. Clean

- Help keep the area clean and tidy by disposing of trash properly and cleaning up after yourself.
- Disruptive smells or odors are not allowed
- Eating is only allowed in designated areas

4. Behavior

- Asking for donations, selling items, or promoting personal causes is not allowed inside The Salvation Army.
- Stealing, defacing, or damaging The Salvation Army's equipment, materials, or facilities is not allowed.
- Proper attire, including but not limited to shirt and shoes, is required
- Public disturbances caused by intoxication will not be tolerated
- No disruptive behavior (shouting, fighting, or inappropriate language).

5. After-Hours Policy

- For the safety and security of everyone, **no one is permitted to remain on or around the property outside of operating hours (9 AM – 4 PM, Monday - Friday).**
 - Loitering, camping, or gathering on the premises after hours is not allowed and may result in removal or further action.

Violations of the Code of Conduct may result in a warning, temporary suspension, or permanent removal from the program.

All decisions regarding conduct will be made by the program leadership team, with fairness and grace.

Responses to Violations of the Code of Conduct

Our goal is to maintain a safe, respectful, and welcoming environment for everyone. If a guest violates the Code of Conduct, staff or volunteers will respond in a fair and consistent manner. Possible responses include:

1. **Verbal Reminder** – A staff member will explain the rule and request the behavior to stop.
2. **Written Warning** – The violation will be documented, and the guest will be informed that further issues may result in suspension.
3. **Temporary Suspension** – The guest may be asked to leave the premises for the remainder of the day or for a set number of days.
4. **Permanent Removal** – In cases of repeated or serious violations (including violence, threats, or illegal activity), the guest may lose access to the program permanently.

Note: The program leadership team will make all final decisions regarding conduct, considering each situation with fairness and grace.

Type of Violation	First Offense	Second Offense	Third Offense or Severe Case
Minor Disruption (e.g., loud talking, refusing to follow staff directions, eating in non-designated areas)	Verbal Reminder	Written Warning	1-Day Suspension
Repeated Minor Disruption	Written Warning	1-Day Suspension	3-Day Suspension
Disrespectful Behavior (e.g., inappropriate language, harassment, personal boundary violations)	Written Warning	3-Day Suspension	1-Week Suspension
Property Damage or Theft	1-Week Suspension & restitution if possible	2-Week Suspension	Permanent Removal
Intoxication on Premises	Removal for the day	1-Week Suspension	Permanent Removal
Aggressive or Threatening Behavior	Immediate Removal for the Day & Incident Report	2-Week Suspension	Permanent Removal
Physical Violence or Weapons	Immediate Removal & Contact Authorities	Permanent Removal	—
After-Hours Loitering / Camping	Verbal Reminder	Written Warning	1-Week Suspension

PLEASE NOTE:

Leadership may skip steps and move directly to longer suspensions or permanent removal for severe incidents (e.g., violence, weapons, serious threats). Guests must meet with a staff member before returning after a suspension. All actions are documented for consistency.



The Salvation Army Open House Summary

Date: September 3, 2025 (Wednesday)

Time: 5:30PM – 7PM

Venue: The Salvation Army Church & Community Center, 104 Clover Street, Holland, MI 49423

BACKGROUND

Per the advice of Holland Charter Township, The Salvation Army held an open house as part of the neighborhood outreach for the Special Land Use Permit application.

Flyers for the Open House were distributed in several ways:

- Physical copies were distributed door-to-door to residential and commercial neighbors within an approximately 400-foot radius of The Salvation Army property.
- Digital copies were shared with nonprofit collaborators such as Lakeshore Housing Alliance, Community Action House, Good Samaritan Ottawa, Refresh/First United Methodist Church, and Movement West Michigan.
- Through the nonprofit collaborators, digital copies were further shared via email to invite area churches, volunteers, and existing Community Kitchen guests.

OPEN HOUSE ATTENDANCE & FEEDBACK

The Open House was attended by more than **XX people¹**, including residents and businesses/organizations in Holland Charter Township, and members of the community from the greater Holland area.

Members of The Salvation Army Advisory Board, Church, and staff led guided tours around the facility. These guided tours featured existing uses and programs, as well as the proposed accessory uses.

Captain Matthew Winters gave a brief presentation on The Salvation Army, its origins and operations in Holland, and the proposed accessory uses in the coming Special Land Use permit application with Holland Charter Township.

Feedback on the proposed accessory uses was very positive and attendees expressed appreciation for the spaces and services at the Church and Community Center.

¹ This does not include representatives from The Salvation Army and the nonprofit collaborators.

The Q&A with attendees covered the following questions:

- What are next steps with zoning to help the collaboration?
- What can we do to help with the public hearing at the Township?
- How many people are you servicing? How might that change?
- Do we anticipate pushback from community? How can we help?
- How many showers will you put in here? How will the unhoused know about this place?
- What can we do to help get the word out?
- Thank you for having the T-coil system in your facility. This is the first time I can use it and be able to hear.
- We are told you are a warming center and a cooling center. Is that overnight? And what is that capacity?
- What time is your Sunday service? 11AM, Sunday school at 9:45am
- What is happening to the Community Action House property at Kollen Park? Where are the Community Action House offices now situated?
- How many housing units will be going into the project by Dwelling Place and Hope Church?



OPEN HOUSE FLYER DISTRIBUTION AREA

THE SALVATION ARMY



Open House

Come see how we're creating a welcoming space for our neighbors to rest, recharge, and connect to vital resources. Explore the services available and see how our community is coming together to make a difference.

5:30PM, 3 SEPT 2025

Our Partners in ministry:



Where is it?

104 Clover Street
Holland, MI 49423

When is it?

September 3rd, 2025

5:30pm - 6:15pm | Check in & registration

5:45pm - 6:15pm | Tours

6:15pm - 7:00pm | Presentation & Q+A



Scan the QR code to RSVP
RSVP is encouraged not required

