

APPLICATION FOR SPECIAL USE APPROVAL

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · www.hct.holland.mi.us

Applicant Information

Contact Name Mark Tomasik
Address 1652 E. Kentview Dr. N.E.
Grand Rapids, MI 49505

Company Innovative design p.c.
Phone [REDACTED]
Email [REDACTED]

Owner Information

Contact Name Kevin Irwin
Address 12330 James St., A40
Holland, MI 49424

Company Guardian Jiu-Jitsu Academy
Phone [REDACTED]
Email [REDACTED]

Plan Preparer Information

Contact Name Mark Tomasik
Address 1652 E. Kentview Dr. N.E.
Grand Rapids, MI 49505

Company Innovative design p.c.
Phone [REDACTED]
Email [REDACTED]

Property Information

Address or Location 12330 James St., D10
Parcel Number 70 - 16 - 21 - 200 - 080 Zoning District C-2 Community Commercial
Present Use(s) Vacant

Description of Special Use (attach additional pages as needed): martial arts training

The undersigned does hereby request a public hearing before the Holland Charter Township Planning Commission for consideration of Special Use approval.

A hearing fee of \$350.00 shall be submitted with eleven (11) complete copies of: this form, the site plan review requirements list including a response to each item listed, and the site plan including an electronic copy of the site plan on CD or other file sharing device.

Site plans required for Special Use consideration **MUST** be submitted with this form. Applications submitted without the required site plans shall not be accepted. **The copies must be submitted to the Zoning Administrator no later than four (4) weeks prior to the hearing date.**

NOTE: You are required to be present at the hearing to present your application. You will be notified as to date and time. Your neighbors within 300 feet will also be notified concerning this hearing.

Property Owner's Certification

I, the undersigned owner of the above-described property, certify that I understand conditions and restrictions may be placed upon this special use approval as deemed necessary by the Holland Charter Township Planning Commission and hereby agree to conform to and abide by any and all such conditions and restrictions.

I, acknowledge there are Specific Special Land Use Approval Standards in addition to those outlined in Section 15.3 (below) that apply to the following uses and by selecting a use below further acknowledge they have reviewed the associated standards and have addressed each of them in this submittal:

- ☐ Special Use – Earth-sheltered Building
- ☐ Special Use – Mineral Extraction
- ☐ Special Use – Wireless Communications

I further agree to authorize members of the Planning Commission and representatives from the Holland Charter Township Building Department to enter my property in order to review the particulars of my request.



Signature of Applicant

11-10-25
Date



Signature of Owner

11-10-25
Date

Section 15.3 - General Standards of Approval.

- A. Standards of Approval. The Planning Commission shall review the particular circumstances and facts applicable to each proposed special land use with respect to the following standards:
1. The use will be harmonious and appropriate with the existing or intended character and land uses in the general vicinity.
 2. The use will be served adequately by public services and facilities, including, but not limited to, streets, police and fire protection, drainage structures, refuse disposal, water and sewer facilities, and schools..
 3. The use will not involve operations, materials and equipment that will be detrimental, hazardous, or disturbing to any persons, property or the general welfare due to traffic, noise, smoke, fumes, glare, vibration, or odors.
 4. The use will be consistent with the intent and purposes of this ordinance and the Holland Charter Township Comprehensive Plan.
 5. The use will ensure that the environment shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal and topographic modifications, which result in maximum harmony with adjacent areas.
 6. The use will not result in traffic congestion, nor have an adverse impact on roads, nor cause hazards.
 7. There is need for the proposed use within the township, and the use will not be detrimental to the community.
- B. Approval. If the Planning Commission finds that the standards in general have been met, in addition to confirming compliance with all other zoning requirements, the permit shall be issued.

Room Finish Schedule								
NO.	ROOM	FLOOR		WALL		CEILING		
		MAT'L	BASE	MAT'L	FIN.	MAT'L	FIN.	HGT
100	WORK-OUT STUDIO	LVT or PC	VINYL	D.N.	PAINT	OPEN	----	
101	MENS LOCKER	LVT	VINYL	D.N.	PAINT	D.N.	PAINT	
101A	REST RM. 2	LVT	VINYL	D.N.	PAINT	D.N.	PAINT	
101B	SHOWER 1	TILE	TILE	TILE	TILE	D.N.	PAINT	
102	WOMENS LOCKER	LVT	VINYL	D.N.	PAINT	NCT	PAINT	
102A	REST RM.1	LVT	VINYL	D.N.	PAINT	D.N.	PAINT	
102B	SHOWER 2	TILE	TILE	TILE	TILE	D.N.	PAINT	
102C	SERVICE RM.	LVT	VINYL	D.N.	PAINT	D.N.	PAINT	
103	UTILITY RM.	CONC	VINYL	D.N.	PAINT	D.N.	PAINT	
104	SMOOTHIE BAR	LVT or PC	VINYL	D.N.	PAINT	D.N.	PAINT	

LVT - LUXURY VINYL TILE
PC - POLISHED CONCRETE
QT - QUARRY TILE
NCT - MASHABLE CEILING TILE

CPT - CARPET
FS - FIBREGLASS SIDING
CONC - CONCRETE
FRP - FIBERGLASS REINFORCED PLASTIC

Door Schedule						
DOOR NO.	LOCATION	DOOR TYPE	DOOR SIZE	FRAME MAT'L	HDY/REMARKS	
100	REST RM.3	1	3'-0" x 7'-0"	ND	HM	3.5.
101	WOMENS LOCKER RM.	2	3'-0" x 7'-0"	ND	HM	4.6.
102	SERVICE ROOM	2	3'-0" x 7'-0"	ND	HM	2.
103	REST RM.1	2	3'-0" x 7'-0"	ND	HM	3.5.
104	REST RM.2	2	3'-0" x 7'-0"	ND	HM	3.5.
105	MENS LOCKER RM.	2	3'-0" x 7'-0"	ND	HM	4.6.
106	UTILITY RM.	2	3'-0" x 7'-0"	ND	HM	

Hardware Notes:

ALL HARDWARE TO BE USED UNLESS NOTED OTHERWISE.
ALL LOCKSETS TO BE KEYS SEPARATELY CLOSERS AND LOCKSETS SHALL MEET ADA REQUIREMENTS - SECTION 404.2.1 & 404.2.2.
EXTERIOR DOORS TO HAVE MAXIMUM 8.5 POUNDS PUSH/PULL PRESSURE. INTERIOR DOORS TO HAVE MAX. 5 POUNDS PUSH/PULL PRESSURE.

ALL DOORS TO HAVE LEVER TYPE OPERATOR UNLESS NOTED OTHERWISE.
ALL DOOR HARDWARE MUST COMPLY WITH STATE AND LOCAL CODE REQUIREMENTS.
ACCESSIBLE DOORS SHALL NOT HAVE THUMB TURNS OR OTHER HARDWARE THAT REQUIRES TIGHT GRASPING, FINGERING OR TURNING OF THE WRIST, PER MICHIGAN BARRIER FREE SECTION 304.4.

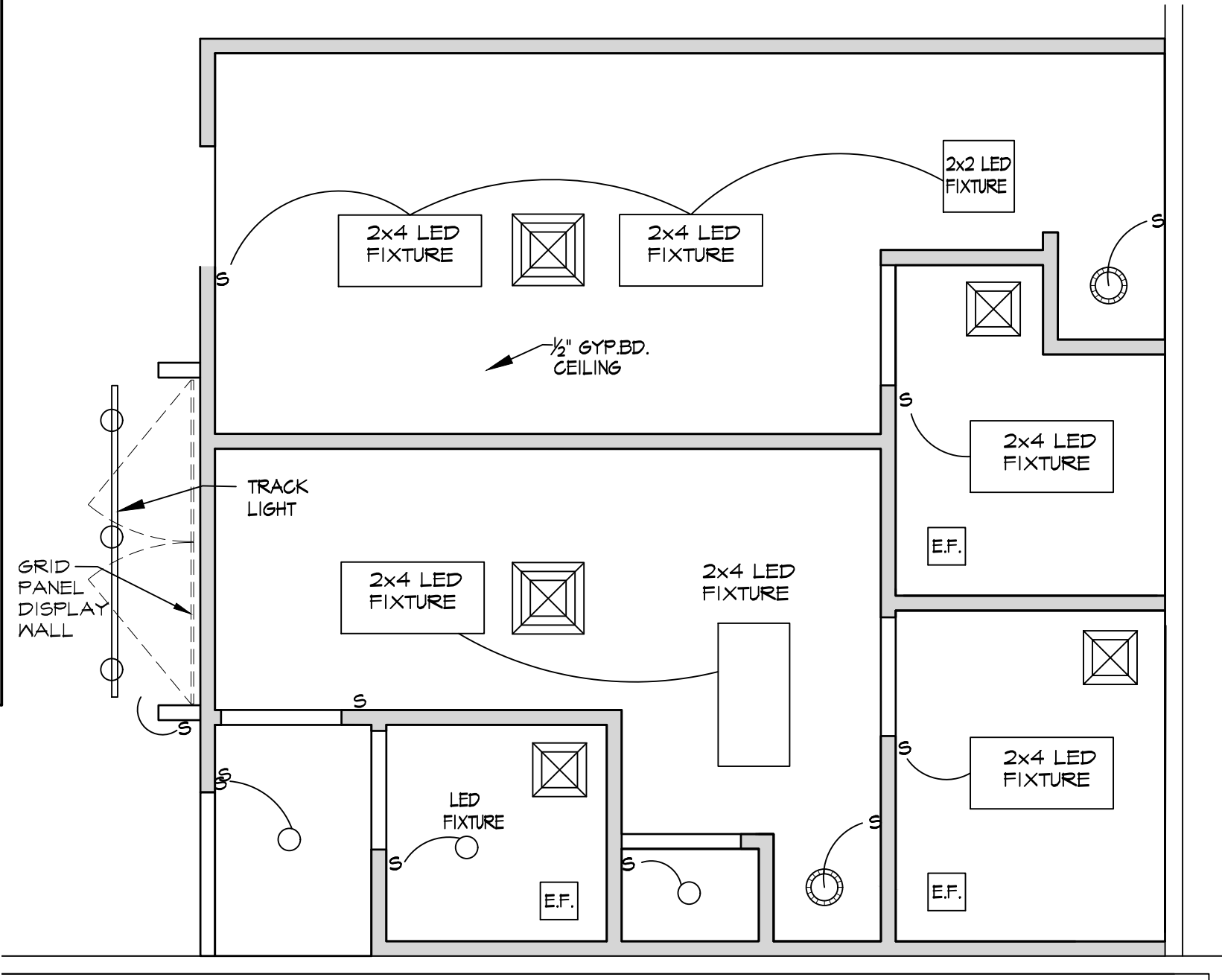
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Electrical Legend	
SYMBOL	DESCRIPTION
⊕	DUPLEX OUTLET @ 18" A.F.F.
⊕	GROUND FAULT OUTLET
⊕	4-PLEX
◁	INTERNET
◁	TELEPHONE JACK
S	SWITCH
⊖	THERMOSTAT
⊖	LED SPOT LIGHT
⊖	SHOWER LIGHT AND FAN
⊖	2x4 LED FIXTURE SURFACED MOUNTED
⊖	2x4 LED FIXTURE SURFACED MOUNTED
EF	EXHAUST FAN
⊖	DIFFUSER
** VERIFY ALL OUTLET AND DATA LOCATIONS WITH TENANT**	

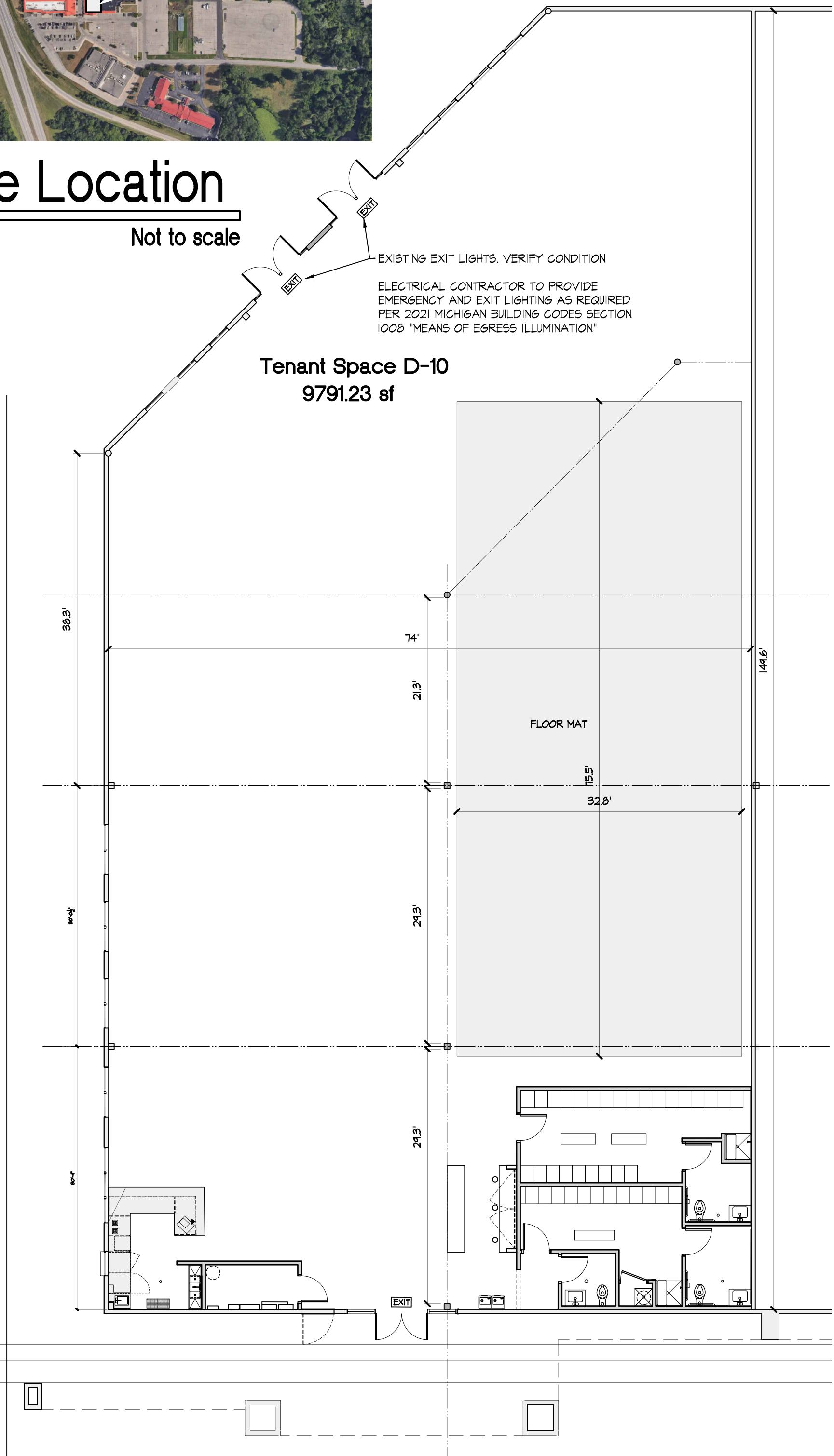


Ceiling Plan
Scale: 1/4" = 1'-0"

MECHANICAL AND ELECTRICAL LAYOUTS ARE CONCEPTUAL. MECHANICAL AND ELECTRICAL CONTRACTORS ARE FULLY RESPONSIBLE FOR THEIR OWN WORK IN TERMS OF BUT NOT LIMITED TO: ALL CODES, DIMENSIONS, COORDINATION WITH OTHER TRADES & ALL APPLICABLE MUNICIPAL AND OTHER GOVERNMENTAL APPROVALS.



Site Location
Not to scale



Floor Plan
Scale: 3/32" = 1'-0"

Code Review	
PROJECT:	GUARDIAN JIU JITSU STUDIO
CODE:	2021 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS ALTERATION - LEVEL 2
CONSTRUCTION TYPE:	3B SPRINKLED
USE GROUP:	A-3 ASSEMBLY
BUILDING AREA:	9791.33 sq.ft.
ALLOWED OCCUPANCY:	PER TABLE 1004.1.2: 48 OCCUPANTS BASED ON 9791.33 sq.ft.
EXITS REQUIRED:	2 REQ. 2 PROVIDED
CODE:	2021 MICHIGAN PLUMBING CODE
FIXTURES PROVIDED:	3 WATER CLOSET 3 LAVATORIES 1 MOP SINK
CODE:	2023 NATIONAL ELECTRICAL CODE CODE: 2021 MICHIGAN MECHANICAL CODE

Page Index	
A-1	Floor Plan
A-2	Framing and Sections
P-1	Plumbing Plan



Guardian Jiu Jitsu Studio

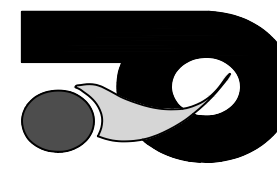
Suite D-10
Holland Town Center - Shopping mall
12330 James St Holland, MI 49424

Issued for
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Date
10-16-2025

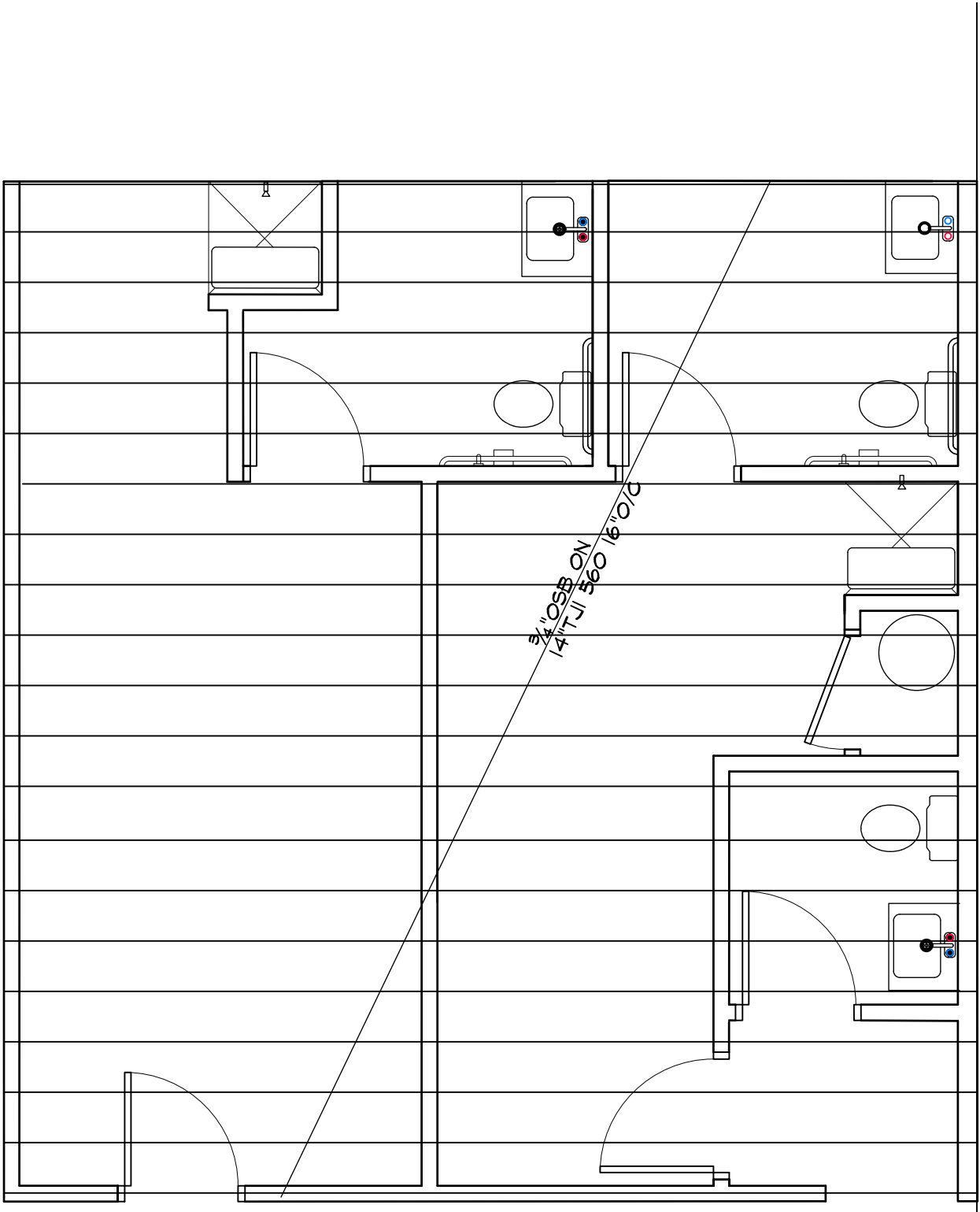
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A-1
Job. No.
25-017

Innovative Design P.C.
Site, Building, and Interior Design
Grand Rapids, MI phone 616-364-4111
mark@innovativedesignpc.com



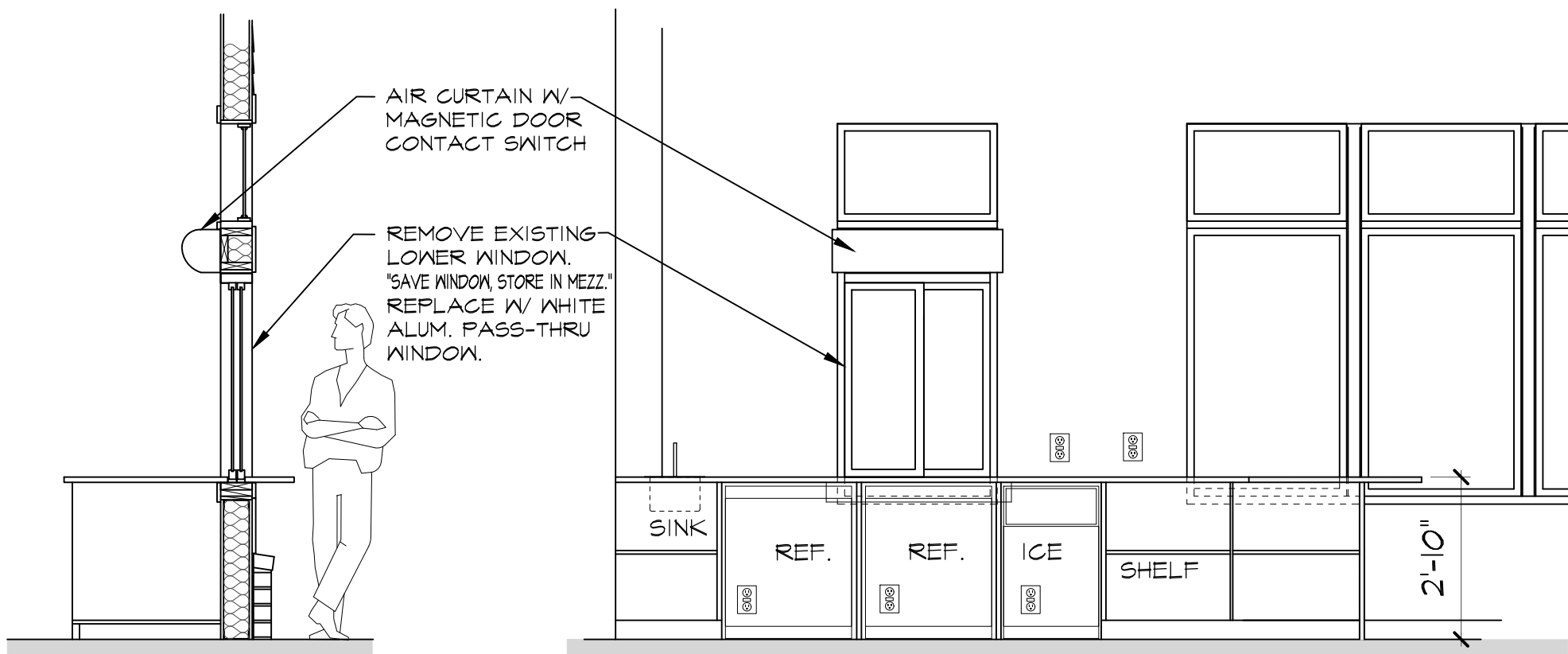
General Notes

1. THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND THE OTHERWISE VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS, INCLUDING THE CONTRACTORS, SUBCONTRACTORS, AND MANUFACTURERS SHOP DRAWINGS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED THEREBY UNTIL CORRECTIONS HAVE BEEN MADE.
2. CONSTRUCTION SHALL COMPLY WITH ALL CODES, STANDARD BUILDING PRACTICES AND REGULATIONS OF GOVERNING AUTHORITIES
3. VERIFY ALL WORK TO COMPLY WITH OWNER REQUIREMENTS.
4. DRAWINGS: ALL CONTRACTORS SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS IF INCLUDED. CONTRACTORS ARE RESPONSIBLE FOR COMPLETE REVIEW. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE SET OF DRAWINGS. NO "EXTRAS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY OR ERROR WHICH THEY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS, THE SITE, OR LOCAL CONDITIONS. THE OWNER SHALL DISTRIBUTE COMPLETE SETS OF DRAWINGS TO ALL SUBCONTRACTORS. DO NOT SEPARATE DRAWINGS BY DISCIPLINE. DO NOT SCALE DRAWINGS.
5. COMPLETENESS: ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL APPLICABLE CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST TO THE OWNER OR THE ARCHITECT. IN THE CASE OF CONFLICTING QUANTITIES / VALUES, THE GREATER AMOUNT OR THE ONE OF GREATER VALUE SHALL PREVAIL AND BE PROVIDED BE THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION. IN THE CASE OF CONFLICTING OR INCONSISTENT INFORMATION, THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION.
6. PERMITS: EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, LABORS, EQUIPMENT, ETC. AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK CATEGORY. CONTRACTORS SHALL FORWARD TO THE ARCHITECT A COPY OF ALL APPROVED PERMITS, DRAWINGS AND CODE COMPLIANCE ADDENDA WITH PLAN EXAMINERS COMMENTS WITHIN 48 HOURS OF RECEIPT OF THE SAME AT NO COST TO THE ARCHITECT. ANY ADDITIONAL WORK REQUIRED AS A RESULT OF THE ABOVE SHALL BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION IF THE CONTRACTOR FAILS TO COMPLY WITH PROVIDING THE APPROVED PLANS OR ADDENDA TO THE ARCHITECT.
7. INSURANCE: ALL CONTRACTORS SHALL OBTAIN "ALL RISK" INSURANCE, AND ALL CUSTOMARY STATUTORY INSURANCE, COMPREHENSIVE GENERAL LIABILITY, ETC. THE ARCHITECT AND THE OWNER SHALL BE NAMED AS INSURED PARTIES TO THE "ALL RISK" INSURANCE POLICY.
8. SUBSTITUTIONS: NO SUBSTITUTION OF SPECIFIED MATERIALS OR EQUIPMENT WILL BE ACCEPTED UNLESS WRITTEN REQUEST FOR APPROVAL HAS BEEN RECEIVED BY THE ARCHITECT AND THE CONTRACTOR HAS RECEIVED WRITTEN APPROVAL BY THE ARCHITECT.
9. DOCUMENTATION: THE CONTRACTOR SHALL KEEP A RECORD OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. THEY SHALL NEATLY AND CORRECTLY ENTER IN COLOR PENCIL, ANY DEVIATIONS ON THE DRAWINGS AND SPECIFICATIONS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. AN EXTRA SET OF CONSTRUCTION DOCUMENTS WILL BE FURNISHED FOR THE PURPOSE.
10. PROTECTION: ALL CONTRACTORS SHALL BE JOINTLY RESPONSIBLE FOR TAKING ALL STEPS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ADJACENT PROPERTY FROM DAMAGES DURING CONSTRUCTION AS REQUIRED BE LOCAL CODES. ALL CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR PROJECT SECURITY FROM THE START OF THE WORK UNTIL THE OWNER ACCEPTS THE PROJECT AS TOTALLY COMPLETE.
11. DRAWINGS INDICATE THE MINIMUM STANDARDS, SHOULD ANY WORK INDICATED BE SUBSTANDARD TO ANY ORDINANCE, LAWS, CODES, RULES OR REGULATIONS BEARING ON THE WORK, THE CONTRACTOR SHALL EXECUTE THE WORK IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS AS A PART OF HIS BASE CONTRACT WITHOUT INCREASE IN COST TO OWNER OR ARCHITECT.
12. ALL DIMENSIONS ARE TO FINISHED WALL, UNLESS OTHERWISE NOTED.
13. INTERIOR DIMENSIONS ARE FROM FACE OF GYP.BD., UNLESS OTHERWISE NOTED
14. ALL ANGLES ARE MEASURED IN INCREMENTS OF 45°, UNLESS OTHERWISE NOTED
15. PRESERVATIVE-TREATMENT: ALL WOOD EXPOSED TO MOISTURE SHALL BE PRESERVATIVE PRESSURE TREATED WOOD.
16. ALL CONSTRUCTION INDICATED SHALL BE NEW, UNLESS OTHERWISE NOTED.
17. WHERE APPLICABLE TO THEIR SCOPE OF WORK, CONTRACTORS SHALL FIELD VERIFY ALL VERTICAL DIMENSIONS AND FLOOR LEVEL IN ORDER TO ENSURE ALIGNMENT OF NEW FLOOR LEVEL WITH EXISTING. NOTIFY ARCHITECT AT ANY DISCREPANCIES.
18. MECHANICAL AND ELECTRICAL CONTRACTORS MUST COORDINATE WITH OTHER TRADES TO ASSURE COMPATIBILITY INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - A. STRUCTURAL LOADING
 - B. POWER REQUIREMENTS
 - C. CLEARING FOR INSTALLATION & MAINTENANCE
19. MECHANICAL AND ELECTRICAL CONTRACTORS ARE FULLY RESPONSIBLE FOR THEIR OWN WORK IN TERMS OF BUT NOT LIMITED TO: ALL CODES, DIMENSIONS, COORDINATION WITH OTHER TRADES & ALL APPLICABLE MUNICIPAL AND OTHER GOVERNMENTAL APPROVALS.
20. SHADED WALLS INDICATE NEW CONSTRUCTION.
21. INTERIOR DESIGN COLOR SCHEME BY OWNER.
22. EXISTING FIRE PROTECTION SPRINKLER HEADS TO BE ADJUSTED AS NEEDED TO MEET CODE BY LICENSED FIRE PROTECTION CONTRACTOR



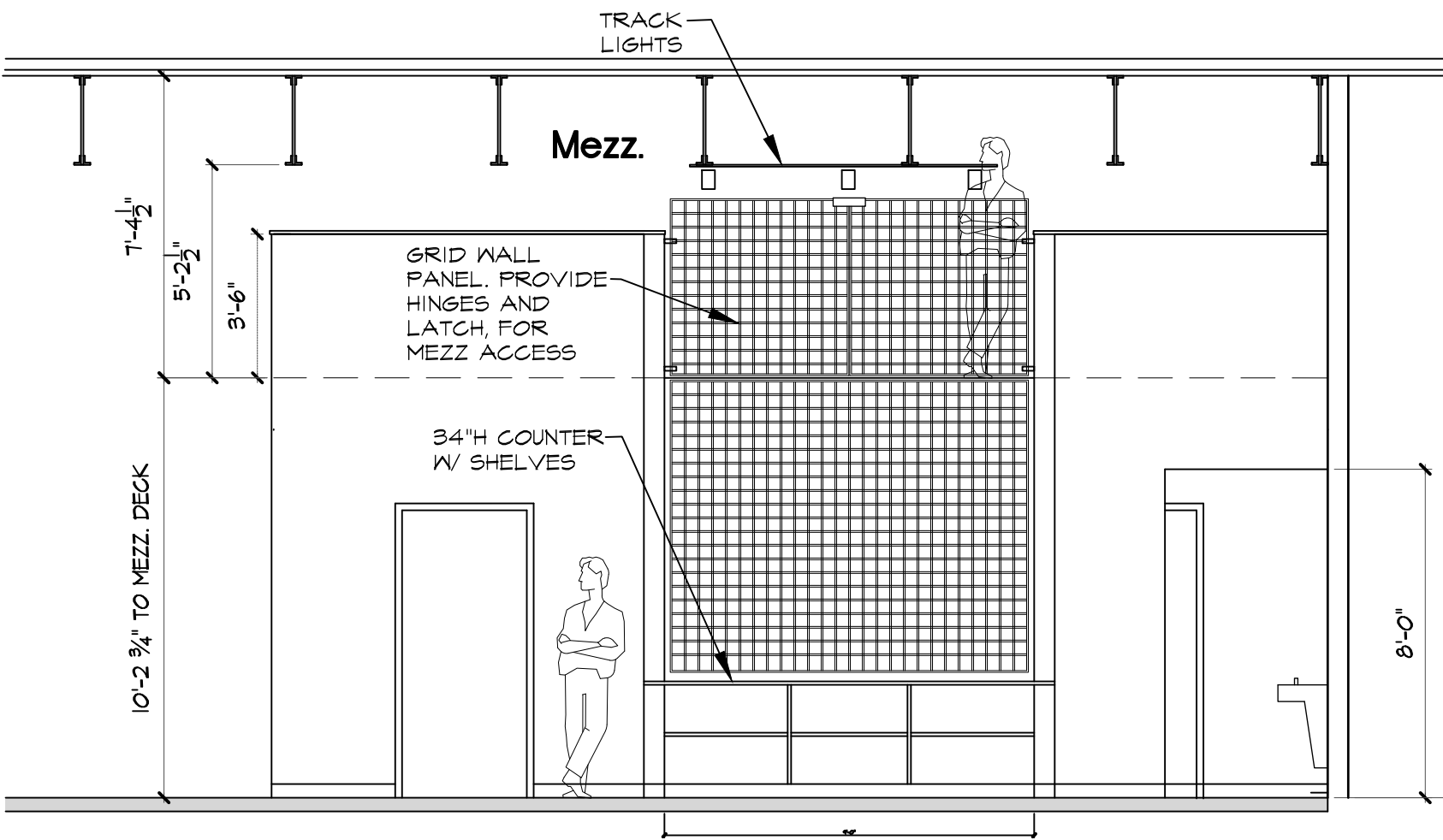
Mezz. Framing Plan

Scale: 1/4" = 1'-0"



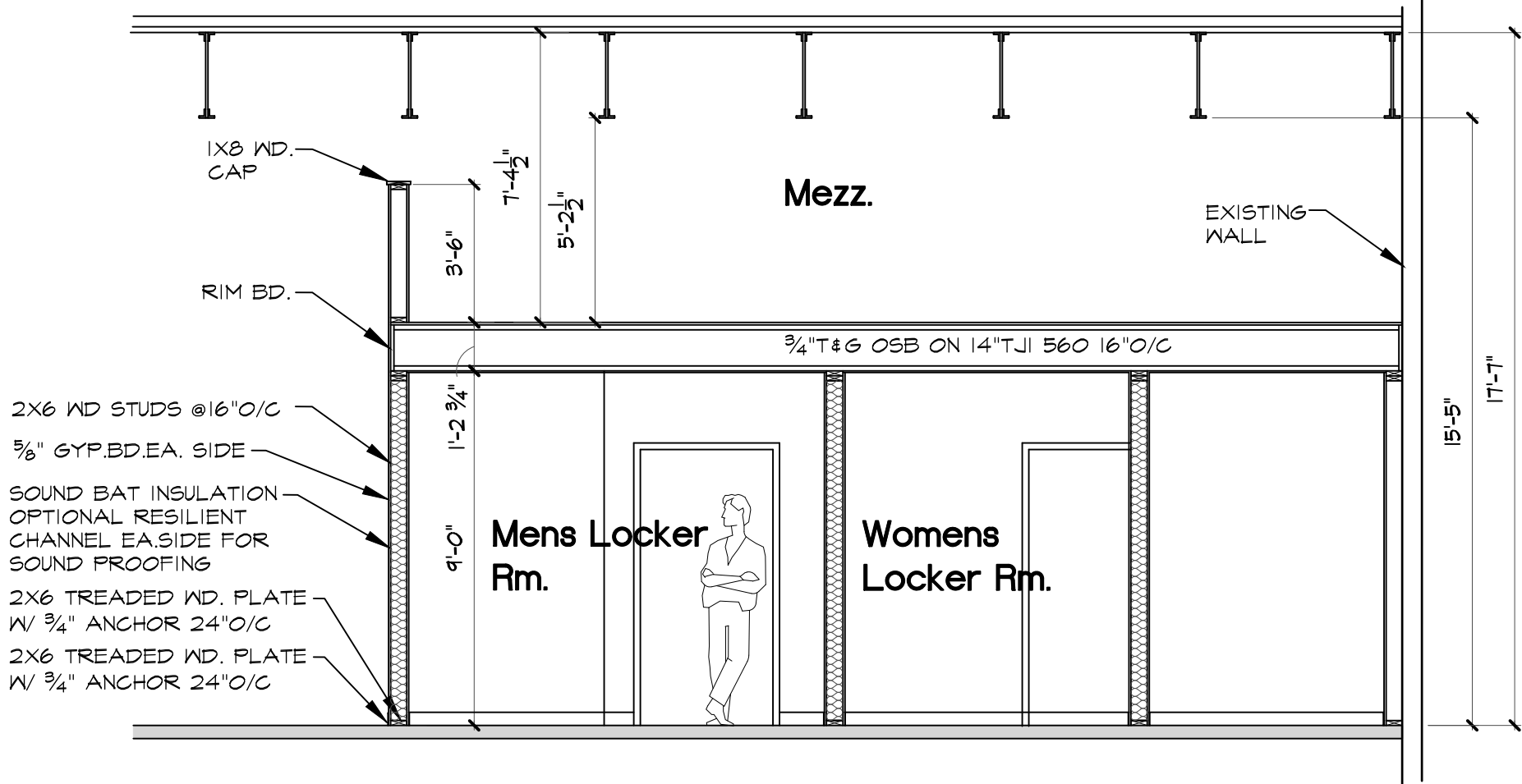
Pass Thru Window

Scale: 1/4" = 1'-0"



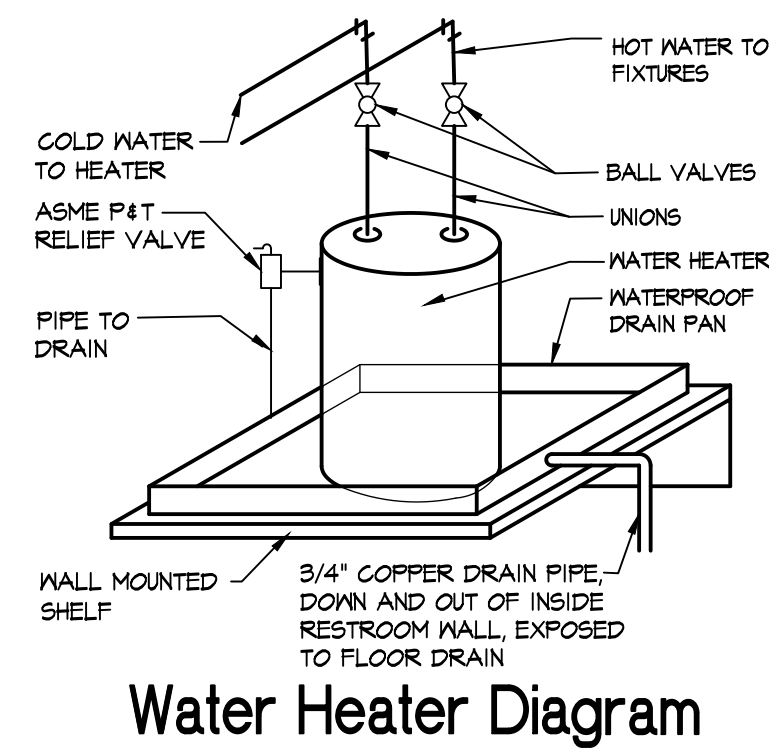
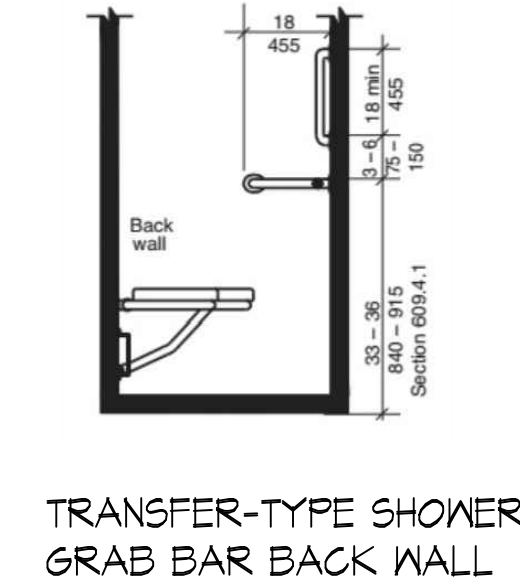
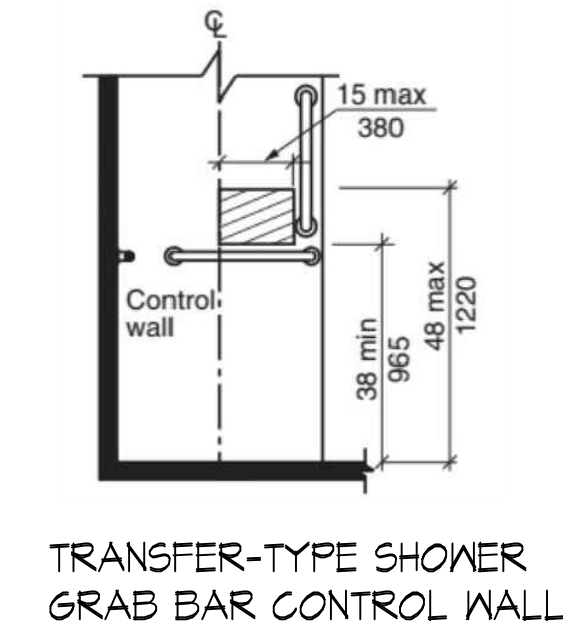
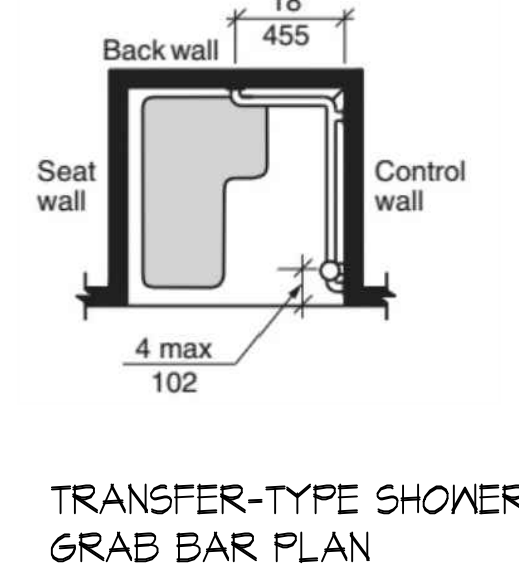
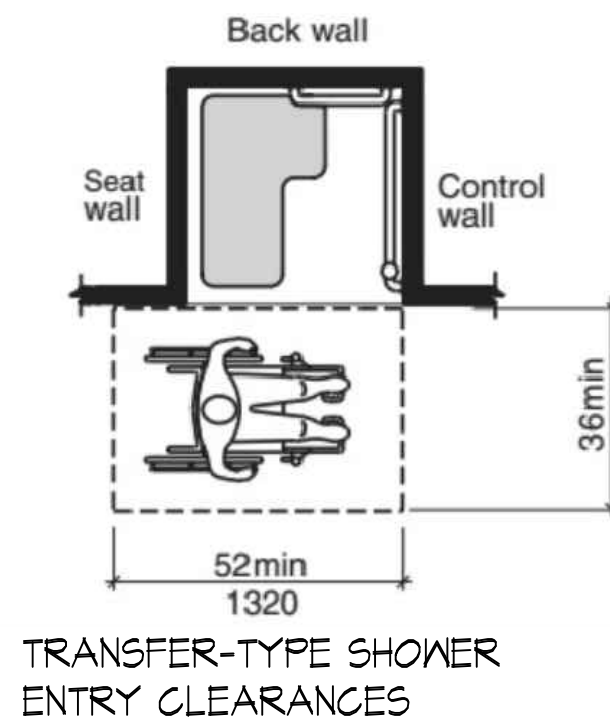
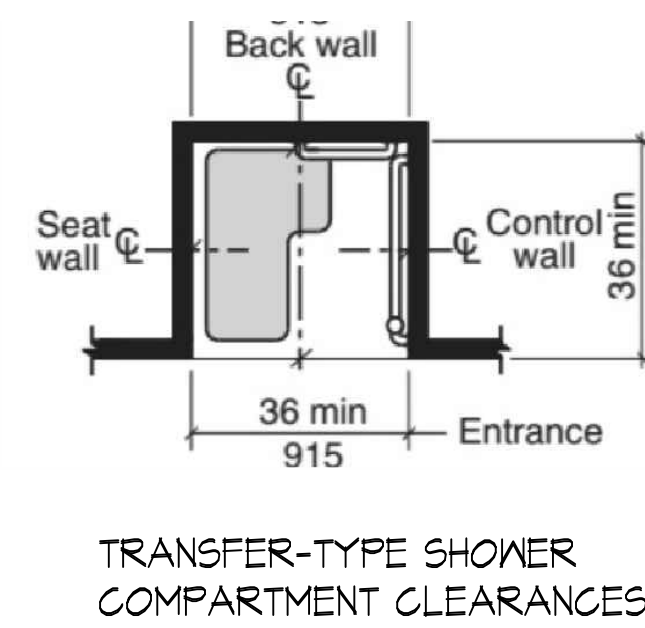
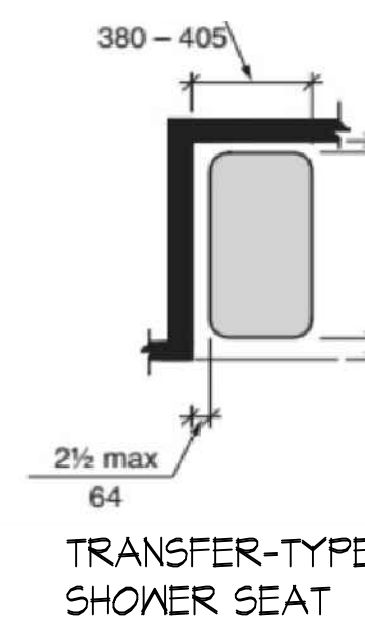
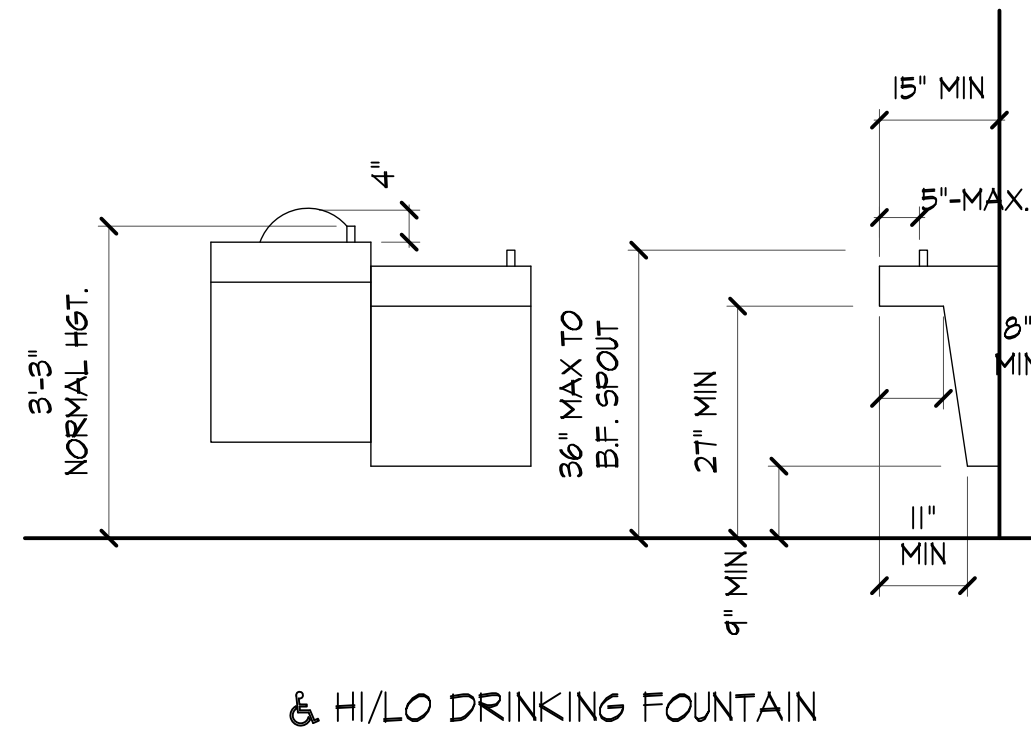
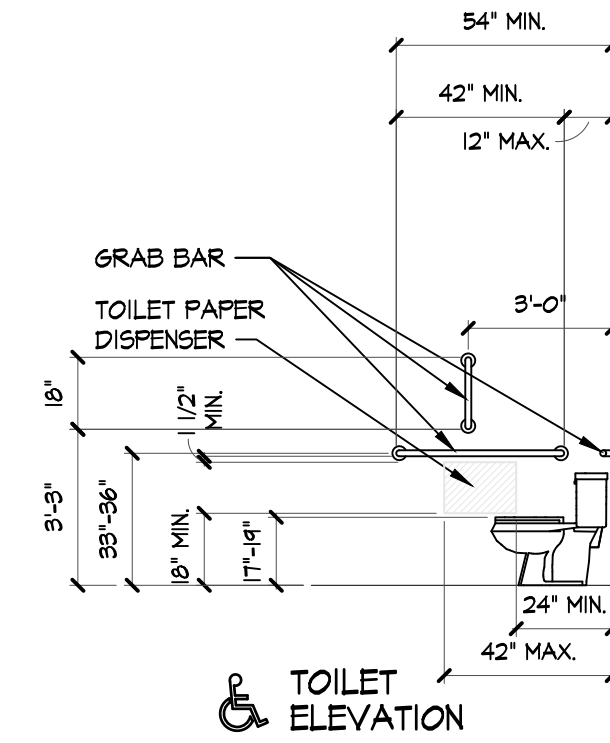
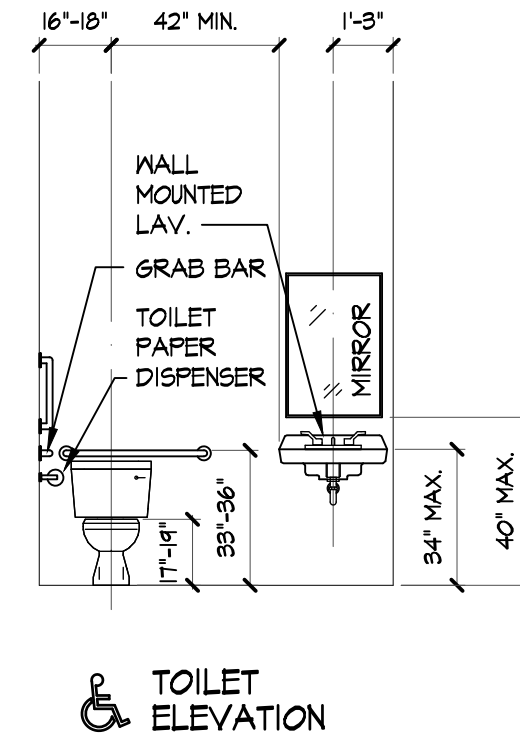
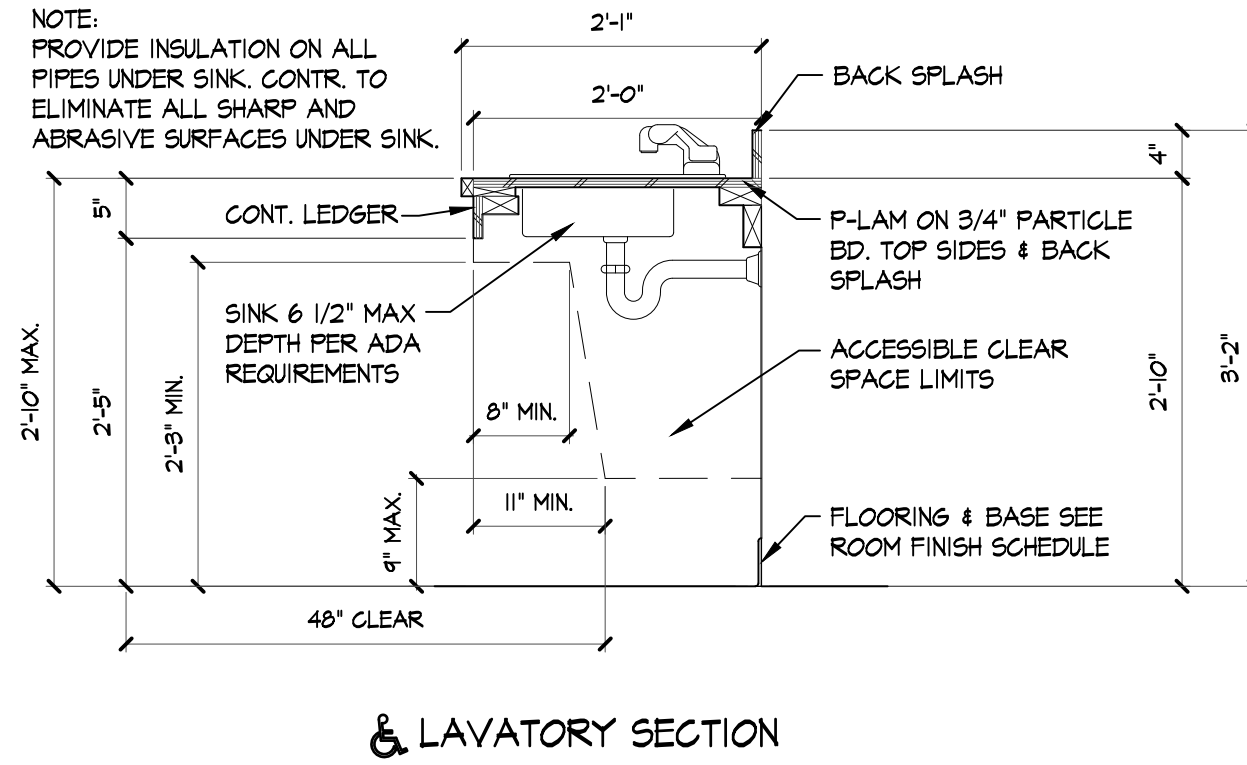
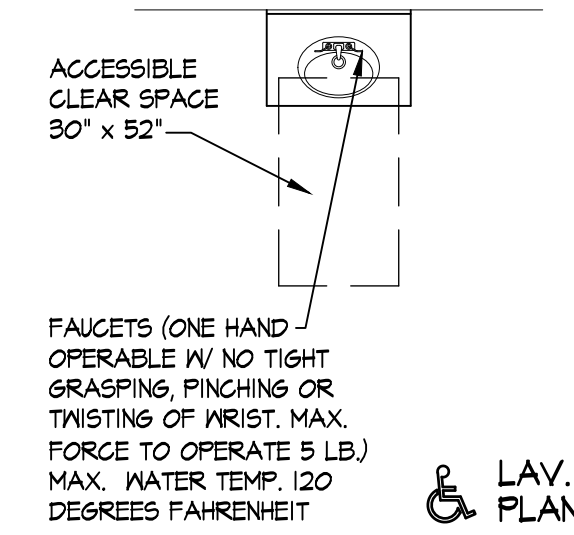
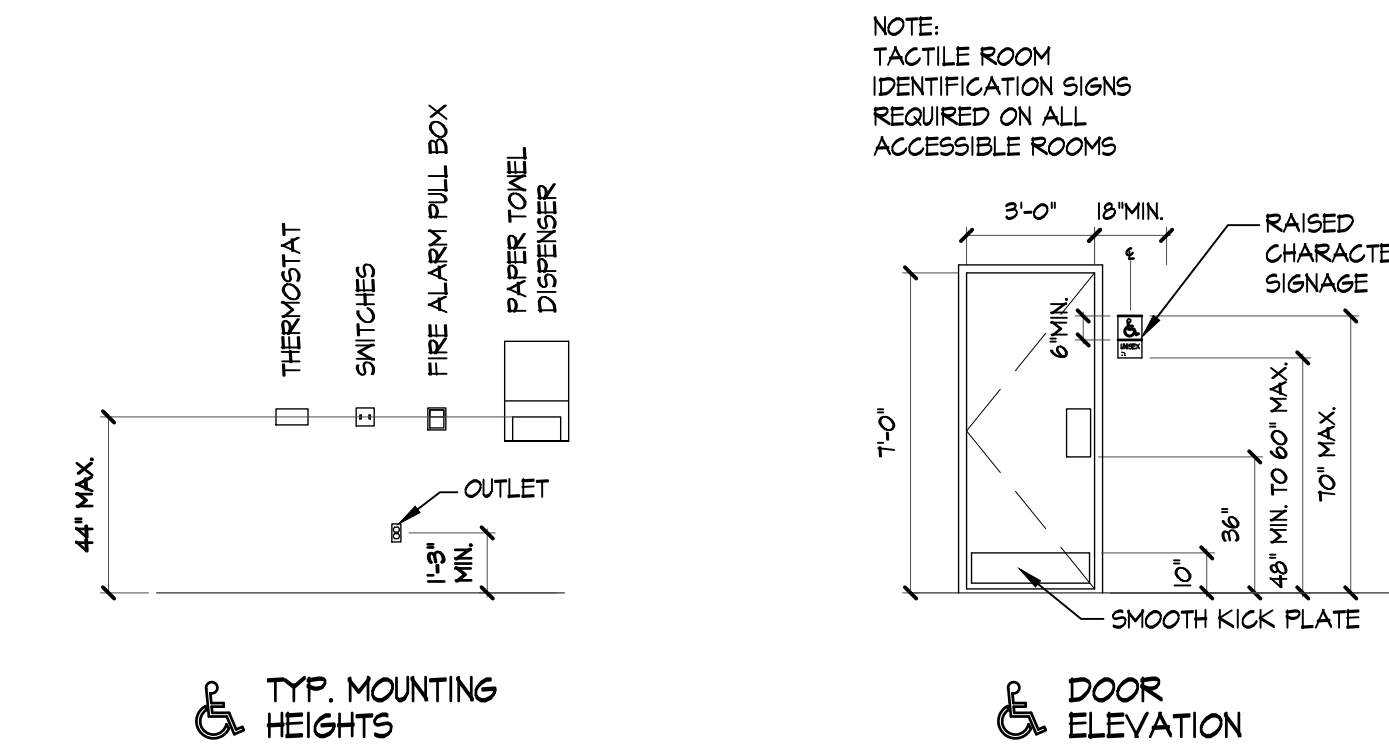
Reception Elevation

Scale: 1/4" = 1'-0"



Sect thru Locker Rm's.

Scale: 1/4" = 1'-0"



Plumbing Fixtures						
ITEM	FIXTURE	WASTE	TRAP	VENT	CW	HW
WC	WATER CLOSET	4"	INT.	2"	1"	---
SLOAN 3080053 REGAL III-1.6 POLISHED CHROME SINGLE FLUSH MANUAL FLUSHOMETER FOR TOILETS (1.6 GPF)						
L	LAVATORY	2"	1-1/2"	1-1/2"	1/2"	1/2"
WH	WATER HEATER	---	---	---	3/4"	3/4"
SI	3-COMP. SINK	2"	1-1/2"	1-1/2"	1/2"	1/2"
SD	HAND SINK	2"	1-1/2"	1-1/2"	1/2"	1/2"
MS	MOP SINK	2"	1-1/2"	1-1/2"	1/2"	1/2"
DF	DRINKING FOUNTAIN	2"	---	---	1/2"	1/2"
VC	VENT & CLEAN OUT	---	---	2"	---	1-1/2"
FD	FLOOR DRAIN	2"	---	---	---	---

PLAN IS FOR GENERAL FIXTURE PLACEMENT. ADDITIONAL FLOOR DRAINS, VENTS AND CLEANOUTS MAY BE REQUIRED FOR EQUIPMENT AND CODE REQUIREMENTS. PLUMBING CONTRACTOR IS RESPONSIBLE FOR COORDINATION

